



**ESENCIA K-8 PORTABLES PHASE 2 PROJECT
Bid No. 2324-09**

**ADDENDUM NO. 2
May 6, 2024**

Please note the following additions, corrections, clarifications, and revisions, to the above-referenced Bid. The additions, corrections, clarifications, and revisions are as follows:

CLARIFICATIONS AND ADDITIONAL INFORMATION

1. All bidding documents, addenda, plan sets, and drawings are available at:

ARC Document Solutions
345 Clinton Street
Costa Mesa, Ca. 92626

Pricing of plans available by contacting Planwell at (949) 660-1150 or
costamesa.planwell@e-arc.com. No partial sets will be available.

CAPISTRANO UNIFIED SCHOOL DISTRICT

Lynh N. Rust
Executive Director, Contracts & Purchasing



addendum

PJHM Architects, Inc.
24461 Ridge Route Drive, Suite 100
Laguna Hills, CA 92653
(949) 496-6191

May 6, 2024
Division of the State Architect
A# 04-122836 / File 30-9

Subject: **ESENCIA K-8 SCHOOL
MODULAR CLASSROOMS**
Capistrano Unified School District

ADDENDUM No. 2

The following changes, omissions and/or additions to the Project Manual and/or Drawings shall apply to proposals made for and to the execution of the various parts of the work affected thereby, and all other conditions shall remain the same.

All parties of interest shall take careful note of the Addendum so that the proper allowances may be made in strict accordance with the Addendum and that all trades shall be fully advised in the performance of the work, which will be required of them.

In case of conflict between Drawings, Project Manual and this Addendum, this Addendum shall govern.

ITEM 01: PRE-BID RFI LOG: QUESTIONS AND RESPONSES

- A. Refer to attached Pre-Bid RFI #1 as submitted by a bidder and as responded to by the Construction Manager (refer to attachment ADD2-01).

ITEM 02: PROJECT MANUAL: SECTION 01 01 00 SUMMARY OF WORK

- A. Delete section 01 01 00 Summary of Work in it's entirety and replace with new revised section 01 01 00 Summary of Work with revisions to the section as clouded (refer to attachment ADD2-02).

ITEM 03: SHEET C-1.1 TITLE SHEET

- A. At Construction Notes, revise Quantities for items #2, #5 and #21 as shown.

ITEM 04: SHEET C-2.1 GRADING, PAVING AND UTILITY PLAN

- A. At Storm Drain Data Table, delete No. 1 in it's entirety.
- B. Delete new asphalt paving (Construction Note #5) and "Future Modular Bldg"s immediately adjacent to Existing I-1 and Existing I-2. Existing construction within this area is to remain.
- C. At building J-4, Contractor shall extend all wet-utilities from the Points-Of-Connections (POC) as shown on this plan, to the POCs provided by the restroom building manufacturer on the adjacent plan-right / north end of the restroom building.



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949.496.6191



837 Traction Ave., #410
Los Angeles, CA 90013
213.278.0172



804 Pier View Way, #103
Oceanside, CA 92054
760.730.5527

ITEM 05: SHEET C-2.2 GRADING, PAVING AND UTILITY PLAN CONT.

- A. Delete new asphalt paving (Construction Note #5), new basketball courts (Construction Note #8) and "Future Modular Bldg"s immediately adjacent to Existing I-2 through Existing I-5 and into existing grass playfields. Existing construction within this area is to remain.
- B. At Storm Drain Data Table, delete No. 1 in it's entirety.

ITEM 06: SHEET C-3.1 EROSION CONTROL PLAN

- A. Delete new asphalt paving and new basketball courts to be installed at existing grass playfields. Existing construction within this area is to remain. Erosion control construction at perimeter of deleted asphalt paving to be relocated to perimeter of existing asphalt paved basketball courts area.

ITEM 07: SHEET A-1.0 SITE PLAN

- A. At area of new project, delete new asphalt paving, new basketball courts and "Future Modulares" immediately adjacent to existing Bldg I-1 through Bldg I-5 and into existing grass playfields. Existing construction within this area is to remain.

ITEM 08: SHEET A-1.1 SITE DEMO PLAN - ENLARGED

- A. At Demo Enlarged Plan Keynotes, replace keynotes #1 - #5 with new text "NOT USED". Refer to attached revised sheet A-1.1.
- B. At Site Demo Plan – Enlarged, delete demolition of existing planting and grass playfields south of existing Bldg I-1 through I-5, and east of existing asphalt paved basketball courts area. Delete demolition of existing concrete walkway at corner of existing asphalt paved basketball courts area. All existing construction in these areas is to remain.

ITEM 09: SHEET A-1.2 SITE PLAN - ENLARGED

- A. At Enlarged Plan Keynotes, replace keynotes #15, #17 & #18 with new text "NOT USED".
- B. At Site Plan – Enlarged, delete new asphalt paving south of existing Bldg I-1 through I-5, and east of existing asphalt paved basketball courts area. Delete new basketball courts east of existing asphalt paved basketball courts area. All existing construction in these areas is to remain.

ITEM 10: SHEET A-1.5 SITE DETAILS - HARDSCAPE

- A. Delete detail 12 Basketball Hoop Support Post in it's entirety.
- B. Delete detail 14 Exterior Basketball Court in it's entirety.

ITEM 11: SHEET E-1.1 ELECTRICAL SITE PLAN

- A. At Keynotes, revise note #3 as shown.
- B. At Electrical Site Plan, delete future portable buildings (shown dashed) and two (2) basketball courts shown east of new exterior light fixtures at existing basketball courts.

- C. At Electrical Site Plan, delete new pathway and pullbox for future portable buildings, west of Main Service Switchboard.

ITEM 12: SHEET E-2.1 ELECTRICAL ENLARGED SITE PLAN

- A. At Electrical Enlarged Site Plan, revise building J.4 electrical panel location and associated connection to site power distribution system.
- B. At Electrical Enlarged Site Plan, delete new asphalt paving south of existing Bldg I-1 through I-5, and east of existing asphalt paved basketball courts area. Delete "Future" portable buildings (shown dashed). Delete new basketball courts east of existing asphalt paved basketball courts area. All existing construction in these areas is to remain.

ITEM 13: SHEET E-2.1PH ELECTRICAL ENLARGED SITE PLAN – LIGHTING PHOTOMETRIC

- A. At Electrical Enlarged Site Plan – Lighting Photometric, delete new asphalt paving south of existing Bldg I-1 through I-5, and east of existing asphalt paved basketball courts area. Delete "Future" portable buildings (shown dashed). Delete new basketball courts east of existing asphalt paved basketball courts area. All existing construction in these areas is to remain.

ITEM 14: SHEET E-3.1 ELECTRICAL ENLARGED FLOOR PLANS

- A. At Key Notes, revise note #9 as shown.
- B. At Electrical Enlarged Floor Plan, revise sleeves between buildings, and add motion sensors to buildings J.1 – J.3.

ITEM 15: SHEET E-3.2 ELECTRICAL ENLARGED FLOOR PLAN

- A. At Key Notes, add note #3 as shown.
- B. At Electrical Enlarged Floor Plan, revise building electrical design at portable buildings (I4 & I5).

ITEM 16: SHEET E-4.3 ELECTRICAL DIAGRAMS

- A. Add detail 3 Network Data Riser Diagram (YMCA) in it's entirety.
- B. Add detail 4 Security Intrusion Riser Diagram (YMCA) in it's entirety.

ITEM 17: SHEET E-5.1 ELECTRICAL DETAILS

- A. At detail 7 Pole Fixture Base Detail Type "F1", add 1A Footing Base Plan in it's entirety.

ITEM 18: SHEET E-5.2 ELECTRICAL DETAILS

- A. Add Technology Bill Of Materials table in it's entirety as shown.

ITEM 19: SHEET FA-1.1 FIRE ALARM OVERALL SITE PLAN

- A. At Fire Alarm Overall Site Plan, delete future portable buildings (shown dashed) and two (2) basketball courts shown east of new exterior light fixtures at existing basketball courts.

ITEM 20: SHEET FA-2.1 FIRE ALARM ENLARGED SITE PLAN

- A. Add Key Notes #1 and #2 in their entirety as shown.

- B. At Fire Alarm Enlarged Site Plan, revise pathway between new buildings J.1 – J.8 and fire alarm point of connection adjacent to Existing Bldg I1.
- C. At Fire Alarm Enlarged Site Plan, delete new asphalt paving south of existing Bldg I-1 through I-5, and east of existing asphalt paved basketball courts area. Delete "Future Modulares" buildings (shown dashed). Delete new basketball courts east of existing asphalt paved basketball courts area.

ITEM 21: SHEET A1.0Aa-M TYPICAL FLOOR PLAN

- A. At detail D Typical Floor Plan – Building '15", delete note at upper left corner regarding locations of fire rated construction (note that fire rated construction is already shown through wall types per Wall Legend, and per Door Schedule and Window Schedule on sheet N3.0a-M).

ITEM 22: SHEET A1.2b-M RESTROOM FLOOR PLAN OPTIONS

- A. At detail 1 Restroom Floor Plan – Girls/Staff/Staff/Boys, revise location of electrical panel serving the building as shown.

ITEM 23: SHEET A5.0b-M TYP EXTERIOR ELEVATIONS DURATEMP – 303 SIDING OPTION

- A. At detail 3 Endwall Exterior Elevation, delete electrical panel serving the building as shown.
- B. At detail 4 Endwall Exterior Elevation, add location of electrical panel serving the building as shown.

ITEM 24: SHEET E1.0b-M ELECTRICAL PLAN & SYMBOLS LEGEND

- A. At detail 4 Typical Electrical Plan, revise location of building electrical panel and adjacent exterior power outlet from wall on gridline 1 to wall on gridline 2 as shown.

ITEM 25: SHEET POC-1 POINT OF CONNECTION PLAN

- A. Add sheet POC-1 Point Of Connection Plan, for coordination purposes with Contractor-installed site utilities connections to the portable restroom building.

ARCHITECT'S SIGNATURE _____



C30913

END OF ADDENDUM No. 2

PRE-BID CLARIFICATION FORM (For Contractor's Use)			
PROJECT NAME:	BID NO. 2324-09 ESENCIA PORTABLES PHASE 2 PROJECT		
PROJECT NUMBER:	207		
TO:	Daniel Clem & Josh Readman	EMAIL:	dclem@telacu.com and jreadman@capousd.org

DATE :	April 25, 2024		
FRO M:	Glenn Palis Estimates and Submittals Department Corner Keystone Construction Corp.	EMAIL:	estimates@cornerkeystone.com
DOCUMENT/DIVISION NUMBER:	Bid Specs (6)	DRAWING NUMBER:	

REQUESTED CLARIFICATION:

Please confirm that both Classroom and Restroom portable buildings are Owner Furnished, Contractor Installed (OF CI).

RESPONSE TO CLARIFICATION:

The portable classroom and restroom buildings will be Owner Furnished (OF). Owner will provide delivery and installation of these buildings into their designated positions on the project site. This includes the installation of the building foundations and access ramps, which fall under the scope of work for AMS (building manufacturer).

Please note, it is the responsibility of the Awarded Contractor to provide all necessary utility connections for these portable buildings, as specified in the contract documents. This includes, but is not limited to, electrical, plumbing, fire alarm, and low voltage connections, as well as any site work required to facilitate these utility connections.

Attach additional numbered sheets as necessary; however, only one (1) request shall be contained on each submitted form.

PART 1 - GENERAL

1.01 PROJECT/WORK IDENTIFICATION

- A. General: The work is comprised of the general construction to add seven (7) new portable classrooms and one (1) portable restroom at Esencia K-8 School for the Capistrano Unified School District, as indicated on the contract documents prepared by PJHM Architects, Inc.
 - 1. The project includes the construction of new asphalt paving to provide additional playcourts and to provide a pad for future portable classroom additions in the future.
- B. Contract Documents: Indicates the work of the contract and related requirements and conditions that have an impact on the project. This includes, but is not necessarily limited to that shown on the drawings and specified herein.
 - 1. Work to be performed throughout the site within or about the property line of the project.
 - 2. Alternates.
 - 3. Requirements for partial occupancy prior to substantial completion of the contract work.
- C. Summary of References: Work of the Contract can be summarized by references to the Contract, Agreement, General Conditions, Special Conditions, Specification Sections, Drawings, addenda and modifications to the contract documents issued subsequent to the initial printing of this project manual and including, but not necessarily limited to, printed material referenced by any of these. It is recognized that work of the contract is also unavoidably affected or influenced by governing regulations, natural phenomenon including weather conditions and other forces outside the contract documents.

1.02 ABBREVIATED WRITTEN SUMMARY:

Briefly and without force and effect upon the contract documents, the work of the contract can be summarized as follows:

- A. Portable Classroom Buildings
 - 1. Installation of seven (7) new portable classroom buildings as provided by American Modular Systems (AMS) under a separate contract.
 - 2. Relocation of two (2) existing portable classroom buildings that were installed per A#04-121303, but were not constructed with fire-

rated exterior walls as indicated on the approved drawings.
Buildings to be removed and reinstalled in a location where fire-rated exterior walls are not required.

- a. Two (2) of the seven (7) new portable classroom buildings are to be constructed with fire-rated exterior walls and installed in the same location of the existing removed buildings.

3. Related work

- a. Construction of related work to provide for a complete, functional and safe installation, including modular ramps (installed by portable building manufacturer), ramp transitions, closures between buildings, building signage.

B. Portable Restroom Building

1. Installation of one (1) new portable restroom building as provided by American Modular Systems (AMS) under a separate contract.

2. Related work

- a. Construction of related work to provide for a complete, functional and safe installation, including modular ramps (installed by portable building manufacturer), ramp transitions, closures between buildings, building signage.

C. Site work

1. Utility work to support the installation of the new portable buildings, including underground dry / electrical utilities and ~~underground wet / civil utilities.~~

2

D. General Contractor Inclusions and Exclusions

1. New electrical panel "DPKJ" has been procured separately and directly by the Owner, and shall be installed by the Contractor (OFCI).
2. New Accessible Ramps extensions by TMP Services as shown on the drawings shall be furnished and installed by the Contractor (CFCI).
3. Modular building raised foundation vents, as specified on modular building drawing sheets A5.0a-M, A5.0Aa-M (24'x40' buildings) and A5.0b-M (12'x40' restroom building), under "Chapter 7A Requirements" item #2 706A.1, shall be furnished and installed by the Contractor (CFCI).
4. Exterior door thresholds for all modular buildings (24'x40' classrooms / YMCA and 12'x40' restroom) in the scope of the project shall be furnished by the Owner, and installed by the Contractor ~~(OFCI).~~ **OFCI**

5. New modular building identification numbering and school address shall be furnished and installed by the Contractor (CFCI), refer to 5/A-0.2 for locations.
6. Existing 24" overhangs at the existing buildings I-4 and I-5 in their current locations shall be extended per detail 15/A-1.5 by the Contractor.
7. All conduit, pathway, devices, hardware and wiring as required to provide a full and complete fire alarm system inside the portable buildings that are in the scope of the project shall be furnished and installed by the Contractor.

1.03 PERFORMANCE REQUIREMENTS FOR CONSTRUCTION AND COMPLETED WORK

- A. General: The Contract Documents indicate the intended occupancy and utilization of the buildings and its individual systems and facilities. Compliance with governing regulations is intended and required for the work and for the Owner's occupancy and utilization.

PART 2 - EXECUTION

2.01 PERFORMANCE

- A. Provide quality workmanship for the related work indicated and specified herein, meeting the quality standards of the trades affected by the scope of work per these contract documents.
- B. Time Line
 1. Refer to the Agreement for construction time, which shall start as of the date specified in the initial letter "Notice to Proceed" from the Architect and/or the Owner to the Contractor and end with the date of acceptance of work by the Owner.
 2. Substantial completion of work or a designated portion thereof is the date certified by the architect when construction is sufficiently complete, in accordance with the Contract Documents, so the Owner may occupy the work or designated portion thereof for the use intended.

END OF SECTION

CAPISTRANO UNIFIED SCHOOL DISTRICT
5 APRENDER
RANCHO VIEJO, CA 92694
ESENCIA K-8
MODULAR CLASSROOMS

CIVIL ENGINEER'S NOTES TO CONTRACTOR

- CONTRACTOR TO POTHOLE AND VERIFY DEPTH AND LOCATION OF ALL UTILITY CONNECTIONS PRIOR TO THE START OF CONSTRUCTION. ANY DEVIATIONS FROM WHAT IS SHOWN ON THE CIVIL PLANS HEREON SHOULD BE CONVEYED TO THE CIVIL ENGINEER FOR NECESSARY DESIGN REVISIONS.
- ALL LANDSCAPE AREAS SHALL BE GRADED TO SLOPE AWAY FROM STRUCTURES AND PROPERTY LINES TOWARD LANDSCAPE DRAINAGE SWALES AND OR SITE DRAIN INLETS AT 2% MINIMUM GRADIENT (1% WHERE FLOW IS CONCENTRATED). SMOOTH FINISH GRADES TO ELIMINATE PONDING OR STANDING WATER.
- ALL LANDSCAPE DRAINS SHALL BE 4" MINIMUM CONSTRUCTED WITH RIGID BELOW GRADE PIPING WITH A 1% MINIMUM GRADIENT UNLESS OTHERWISE NOTED.
- LANDSCAPE DRAINS, CATCH BASINS, INLETS, ETC. SHOWN HEREON ARE DIAGRAMMATIC. CONTRACTOR SHALL PROVIDE COMPLETE DRAINAGE SYSTEMS AND ADJUST THE LAYOUT AS REQUIRED TO MATCH SITE CONDITIONS AND OR MINOR DISCREPANCIES WITH THESE PLANS.
- CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO MAINTAIN PROPER DRAINAGE AND EROSION CONTROL DURING CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY ENGINEER UPON THE DISCOVERY OF AREAS WHICH DO NOT DRAIN PROPERLY OR ANY OTHER DISCREPANCY OR AREA WHICH HAS NOT BEEN ADEQUATELY ADDRESSED AS A RESULT OF A FIELD CONDITION OR ANOMALY IN THE TOPOGRAPHY.
- HARDSCAPE GRADES SHALL BE 0.02' BELOW DRIP SCREED AT HIGHEST POINT NEAR STRUCTURE AND SHALL SLOPE AT A 1% MINIMUM GRADE TO DRAINS OR LANDSCAPE AREAS. HARDSCAPE SHALL SLOPE AND DRAIN AWAY FROM THE STRUCTURE UNLESS OTHERWISE NOTED.
- THE HIGHEST ADJACENT GRADE AGAINST STRUCTURE FOOTNGS SHALL BE PER THE LATEST GREEN BOOK STANDARD.
- DEEPEENED FOOTINGS OR YARD DRAINS SHOULD BE CONSIDERED IF THE SIDE YARD CROSS SLOPES EXCEED 10%. CONTRACTOR TO VERIFY WITH OWNER OR DEVELOPER.
- EARTHWORK QUANTITIES SHOWN HEREON ARE RAW QUANTITIES CALCULATED FOR PERMIT AND OR BONDING PURPOSES ONLY. UNLESS NOTED, THEY DO NOT INCLUDE POTENTIAL SHRINKAGE OR BULKING FACTORS, REMEDIAL GRADING, FOOTING SPOILS, UTILITY TRENCH SPOILS, ETC. THE CONTRACTOR SHALL VERIFY QUANTITIES TO THEIR OWN SATISFACTION.
- THE LOCATIONS OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN OBTAINED FROM AVAILABLE RECORDS FOR THE BENEFIT OF THE CONTRACTOR. THE DEPICTION OF UTILITIES SHOWN ON THESE PLANS DOES NOT CONSTITUTE A GUARANTEE OF THEIR EXACT LOCATION, DEPTH, SIZE, OR TYPE. EXACT LOCATION, DEPTH, TYPE AND SIZE MAY BE VERIFIED BY POTHOLING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT ALL UNDERGROUND AND/OR OVERHEAD STRUCTURES AND/OR UTILITIES WHETHER OR NOT THEY ARE SHOWN HEREON.
- CONTRACTOR SHALL NOTIFY DIGALERT @ 800-227-2600 OR UNDERGROUND SERVICE ALERT (USA) @ 800-422-4133 AT LEAST TWO DAYS BEFORE START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR POTHOLING PRIOR TO START OF CONSTRUCTION TO VERIFY ALL ELEVATIONS OF EXISTING UNDERGROUND UTILITIES.
- MSE/ WALLS SHALL BE CONSTRUCTED WITH FULL SPECIAL INSPECTION BY OTHERS ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
- MSE/KEYSTONE RETAINING WALLS SHALL BE CERTIFIED BY THE SOILS ENGINEER OF WORK AS BEING CONSTRUCTED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AGENCY APPROVAL OF THE ROUTE AND SITE LOCATION FOR EXPORT AND OR IMPORT MATERIALS.
- FOOTING SUBGRADE MATERIAL SHALL BE INSPECTED BY GEOTECHNICAL ENGINEER PRIOR TO FORMING OR STEEL PLACEMENT FOR ALL EARTH RETAINING STRUCTURES.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY AND HOLD THE JURISDICTIONAL AGENCY AND THE DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE JURISDICTIONAL AGENCY OR DESIGN PROFESSIONAL.

AGENCY NOTIFICATIONS

NOTE: THE CONTRACTORS SHALL NOTIFY THE UNDERGROUND SERVICE ALERT FORTY-EIGHT (48) HOURS PRIOR TO STARTING CONSTRUCTION OR EXCAVATION BY CONTACTING (800) 422-4133



SPECIAL NOTES

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF WORK.

- NEITHER THE OWNER NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ARCHITECT AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ARCHITECT OR THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, STREETS, UTILITIES AND STORM DRAINS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL SUBMIT AN RFI TO THE ARCHITECT FOR DISTRIBUTION TO AND RESPONSE BY THE CIVIL ENGINEER PRIOR TO PERFORMING ANY WORK RELATED TO THE AREA(S) IN QUESTION. THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT THE PROJECT AND ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM HIS OPERATIONS BY APPROPRIATE MEANS (GRAVEL BAGS, HAY BALES, TEMPORARY DESILTING BASINS, DIKES, SHORING, ETC) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHATEVER AGENCY OR ASSOCIATION IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE.
- BEFORE EXCAVATING FOR THIS CONTRACT, THE CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITIES AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY.
- LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL NOTIFY ANAHEIM PUBLIC UTILITIES PRIOR TO STARTING WORK NEAR ELECTRIC FACILITIES AND SHALL COORDINATE WORK WITH ANAHEIM PUBLIC UTILITIES REPRESENTATIVES. CONTRACTOR SHALL NOTIFY SOCALGAS PRIOR TO STARTING WORK NEAR GAS FACILITIES AND SHALL COORDINATE WORK WITH SOCALGAS REPRESENTATIVES. FOR LOCATION OF ELECTRICAL CABLES, GAS PIPING AND APPURTENANCES CONTACT DIGALERT, TELEPHONE 811 OR 800-422-4133.
- CONTRACTOR SHALL NOTIFY THE TELEPHONE COMPANY PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES FOR LOCATION OF CABLES AND APPURTENANCES.
- WHERE TRENCHES ARE WITHIN EASEMENTS OR WITHIN 10' OF ANY BUILDING, A REPORT SHALL BE SUBMITTED TO THE ENGINEER OF WORK BY A QUALIFIED SOILS ENGINEER WHICH INDICATES THAT TRENCH BACKFILL WAS COMPACTED UNDER THE OBSERVATION OF THE SOILS ENGINEER AND IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS
- ALL GRADING SHALL BE DONE UNDER THE OBSERVATION OF A QUALIFIED SOILS ENGINEER. ALL AREAS TO BE FILLED SHALL BE PREPARED TO BE FILLED AND ALL FILL SHALL BE PLACED IN ACCORDANCE WITH THE GRADING SPECIFICATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE, SPREAD, WATER AND COMPACT THE FILL IN STRICT ACCORDANCE WITH THE SPECIFICATIONS.

ABBREVIATIONS

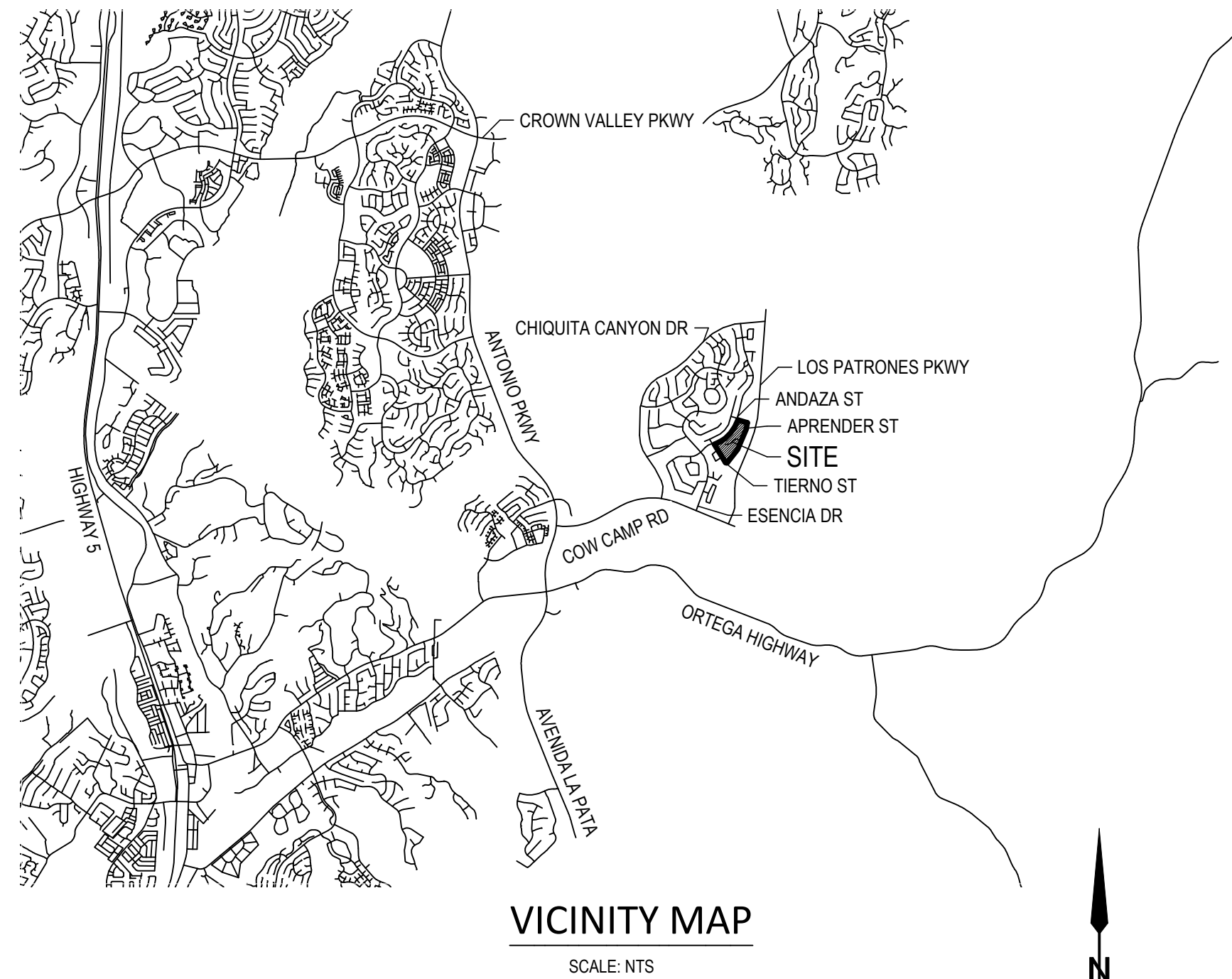
AB	AGGREGATE BASE	IE	INVERT ELEVATION
AC	ASPHALTIC CONCRETE	LT	LIGHT POLE
ADA	AMERICANS WITH DISABILITIES ACT	MAX	MAXIMUM
AP	ANGLE POINT	MH	MANHOLE
APPROX	APPROXIMATE	MIN	MINIMUM
BMP	STORMWATER BEST MANAGEMENT PRACTICE DEVICE	PA	PLANTER AREA
BP	BOTTOM OF PIPE	PL	PROPERTY LINE
CO	CLEANOUT	POC	POINT OF CONNECTION
CONC	CONCRETE	POT	PATH OF TRAVEL
CMU	CONCRETE MASONRY UNIT	PROP	PROPOSED
DEMO	DEMOLISH	PVC	POLYVINYL CHLORIDE
DW	DOMESTIC WATER	RCP	REINFORCED CONCRETE PIPE
ELEC	ELECTRIC	RM	TOP OF RIM ELEVATION
EX	EXISTING	S	SLOPE
FF	FINISHED FLOOR ELEVATION	SD	STORM DRAIN
FG	FINISHED GRADE ELEVATION	SS	SANITARY SEWER
FH	FIRE HYDRANT	SW	SIDEWALK
FL	FLOWLINE	TC	TOP OF CURB
FS	FINISHED SURFACE ELEVATION	TG	TOP OF GRATE
F	FIRE SERVICE WATER	TP	TOP OF PIPE
GB	GRADE BREAK	TW	TOP OF WALL
GV	GATE VALVE	TYP	TYPICAL
HDPE	HIGH DENSITY POLYETHYLENE	VF	VERIFY IN FIELD
ICV	IRRIGATION CONTROL VALVE	W	WATER

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE (CBC). SEE PAGE CS FOR APPLICABLE CODES FOR THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND USA ALERT (1- 800-422-4133) 48 HOURS PRIOR TO GRADING.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER METHODS APPROVED BY THE SCHOOL DISTRICT.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, AND SHALL BE SHOWN ON THE PLAN.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, SHALL BE SHOWN ON PLAN, AND SHALL NOT HAVE LESS THAN 95% RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
- FILL AREAS SHALL BE CLEANED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND INSPECTED BY THE GRADING INSPECTOR AND APPROVED SOILS TESTING AGENCY PRIOR TO THE PLACING OF FILL.
- ALL FILL MATERIAL SHALL BE CLEAN EARTH. NO FILL SHALL BE PLACED UNTIL PREPARATION OF GROUND IS APPROVED BY THE SOILS ENGINEER.
- FINISH GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR WALLS AT NOT LESS THAN 1/2 INCH PER FOOT FOR A MINIMUM OF 3 FEET, THEN 1% (MINIMUM) TO FLOW LINE OF EARTH SWALE.
- NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATERCOURSES SHALL BE PERMITTED.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT
- APPROVED EROSION PREVENTIVE DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON AND SHALL BE IN PLACE AT THE END OF EACH DAYS WORK.
- ALL WORK SHALL CONFORM TO THE CITY AND STATE CONSTRUCTION SAFETY ORDERS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- AN APPROVED SET OF GRADING PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GRADING OPERATIONS.
- ALL SLOPES SHALL BE PLANTED AND IRRIGATION FACILITIES SHALL BE PROVIDED FOR ALL SLOPES IN EXCESS OF 3 FEET VERTICAL HEIGHT WITHIN 90 DAYS AFTER COMPLETION OF ROUGH GRADING.
- ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.

SOURCE OF TOPOGRAPHY

FIELD TOPOGRAPHIC SURVEY PREPARED BY GUIDA SURVEYING, INC., DATED AUGUST 2023.



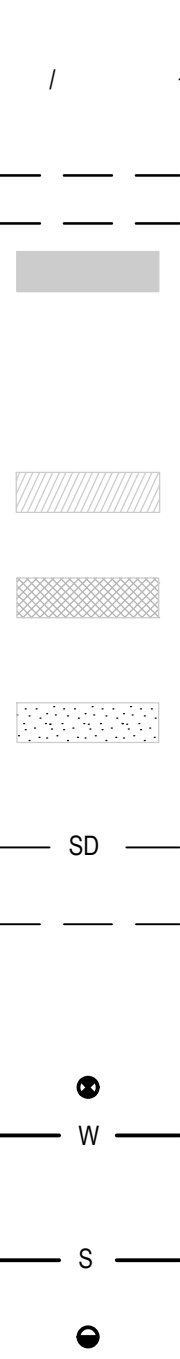
CONSTRUCTION NOTES

- PROTECT IN PLACE. ITEM PER PLAN.
- REMOVE. ITEM PER PLAN.
- ADJUST TO GRADE. ITEM PER PLAN.
- SAWCUT AND JOIN EXISTING CONCRETE PAVEMENT PER ARCHITECTURAL PLAN.
- SAWCUT AND JOIN EXISTING ASPHALT PAVEMENT PER DETAIL ON SHEET C-4.1.
- CONSTRUCT ASPHALT PAVEMENT. 3" AC OVER 4" AB OVER 12" OVEREXCAVATION OF NATIVE COMPACTED TO A MINIMUM 90% RELATIVE COMPACTION.
- MODULAR LANDING, RAMP, AND HANDRAIL SYSTEM PER ARCHITECTURAL PLAN.
- LANDSCAPE AREA PER ARCHITECTURAL PLAN.
- STRIPING, EQUIPMENT, AND LIGHTING PER ARCHITECTURAL PLAN.
- GRIND AND CONSTRUCT ASPHALT PAVEMENT OVERLAY OF VARYING DEPTH FOR LANDING WITH A MAXIMUM 2% SLOPE IN ANY DIRECTION, AND 5% MAX TRANSITIONAL SLOPE IN THE DIRECTION OF TRAVEL PER PLAN.
- CONSTRUCT FIRE LANE ASPHALT PAVEMENT. 4.2" AC OVER 9.6" AB OVER 12" OVEREXCAVATION OF NATIVE COMPACTED TO A MINIMUM 90% RELATIVE COMPACTION.
- FENCING AND GATE PER ARCHITECTURAL PLAN.
- REMOVE AND REPLACE EXISTING CONCRETE PAVING AS REQUIRED FOR NEW UNDERGROUND UTILITIES ARCHITECTURAL DETAIL 7/A-1.5.
- JOIN EXISTING STORM DRAIN, SIZE AND TYPE PER PLAN.
- INSTALL STORM DRAINAGE PIPE. PIPE BEDDING AND TRENCH BACKFILL PER DETAIL ON SHEET C-4.1. SEE DATA TABLE HEREON.
- INSTALL BURIED 2" PVC STORM DRAINAGE PIPE WITH AN AREA DRAIN AT 1" CONDENSATE DRAIN PIPE POINT OF CONNECTION. SEE ARCHITECT PLAN FOR CONTINUATION. 2% MINIMUM SLOPE.
- JOIN EXISTING UTILITY, SIZE AND TYPE PER PLAN.
- POINT OF CONNECTION. SEE PLUMBING FOR CONTINUATION.
- INSTALL WATER LINE. PIPE BEDDING AND TRENCH BACKFILL PER SMMWD STD. DWG. W11 ON SHEET C-4.1. SEE DATA TABLE HEREON.
- INSTALL BEND. ANGLE PER PLAN. SIZE TO MATCH WATER LINE.
- INSTALL SEWER LINE. PIPE BEDDING AND TRENCH BACKFILL PER SMMWD STD. DWG. S6 ON SHEET C-4.1. SEE DATA TABLE HEREON.
- INSTALL 2-WAY SEWER CLEANOUT PER SMMWD STD. DWG. S3 ON SHEET C-4.1.

SHEET INDEX

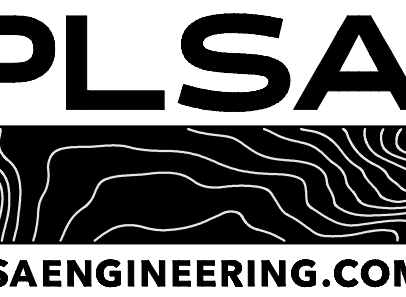
SHEET NO.	DESCRIPTION
C-1.1	TITLE SHEET
C-2.1	GRADING, DRAINAGE, AND UTILITY PLAN
C-2.2	GRADING, DRAINAGE, AND UTILITY PLAN CONT.
C-3.1	EROSION CONTROL PLAN
C-4.1	DETAIL SHEET

LEGEND

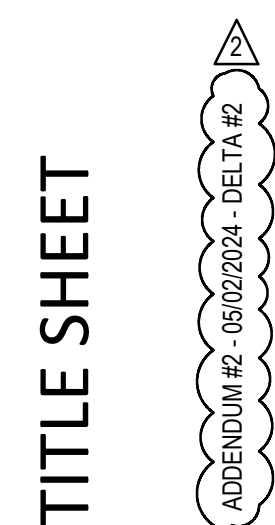


QUANTITIES

ITEM	QUANTITY	UNIT
1	10	EA
2	90	LF
3	1,026	LF
4	5,052	SF
5	-	-
6	-	-
7	-	-
8	-	-
9	175	SF
10	1,559	SF
11	-	-
12	126	SF
13	3	EA
14	202	LF
15	21	LF
16	2	EA
17	2	EA
18	91	LF
19	2	EA
20	277	LF
21	2	EA



ESENCIA K-8 SCHOOL
MODULARS
5 APRENDER, RANCHO VIEJO, CA 92694
CAPISTRANO SCHOOL DISTRICT



ANDAZA ST.

RIGHT OF WAY

EXISTING F
A#04-115197

EXISTING I-1
A#121045

EXISTING I-2
A#121045

LEGEND

- EXISTING GROUND CONTOUR
FINISHED GROUND CONTOUR
PROPOSED SPOT ELEVATIONS
EXISTING SEWER
PROPOSED SEWER
EXISTING WATER
PROPOSED WATER
EXISTING STORM DRAIN
PROPOSED STORM DRAIN
LIMITS OF DEMOLITION
AC PAVEMENT (3" AC OVER 6" AB)
AC PAVEMENT OVERLAY
REMOVE AND REPLACE CONCRETE (TRENCHING)
FIRELINE

CONSTRUCTION NOTES

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- CONSTRUCT FIRE LANE ASPHALT PAVEMENT. 4" 2" AC OVER 9.6" AB OVER 12" OVEREXCAVATION OF NATIVE COMPACTED TO A MINIMUM 90% RELATIVE COMPACTION. FENCING AND GATE PER ARCHITECTURAL PLAN.
- REMOVE AND REPLACE EXISTING CONCRETE PAVING AS REQUIRED FOR NEW UNDERGROUND UTILITIES ARCHITECTURAL DETAIL TIA-1.5.
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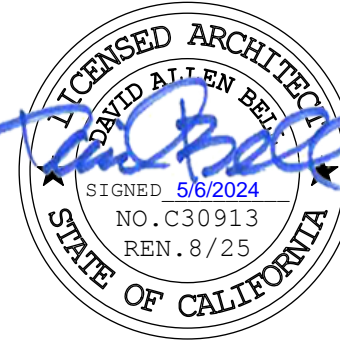
SEWER DATA TABLE		
NO.	LENGTH	BEARING/DELTA
1	1.00'	N 89° 46' 18" E
2	63.56'	N 30° 13' 44" W
3	184.62'	N 45° 05' 27" E
4	1.89'	N 00° 02' 27" E

WATER DATA TABLE		
NO.	LENGTH	BEARING/DELTA
1	5.00'	N 59° 46' 18" E
2	63.56'	N 30° 13' 44" W
3	184.62'	N 45° 05' 27" E
4	1.89'	N 00° 02' 27" E

STORM DRAIN DATA TABLE		
NO.	LENGTH	BEARING/DELTA
1	5.00'	N 59° 46' 18" E
2	63.56'	N 30° 13' 44" W
3	184.62'	N 45° 05' 27" E
4	1.89'	N 00° 02' 27" E

SCALE: 1" = 10'

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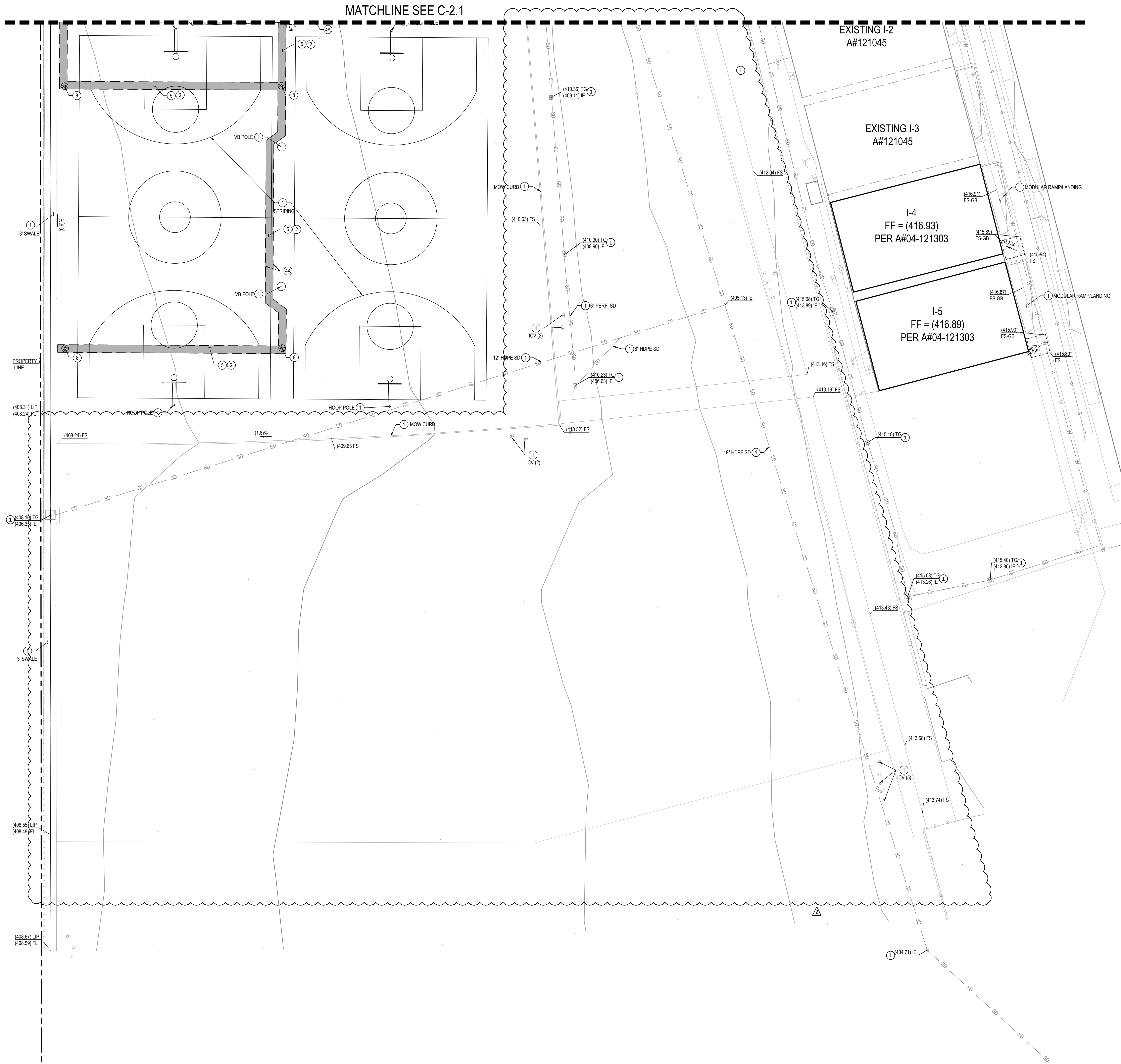
PLSA
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ESENCIA K-8 SCHOOL
MODULARS
5 APPENDER, RANCHO VIEJO, CA 92694
CAPISTRANO SCHOOL DISTRICT

GRADING, PAVING AND
UTILITY PLAN
C-2.1

SAVE DATE: 06/20/24 - EXIST DATE: 06/20/24 - FILE NAME: \ACTIVE\0624\112\Bentley\DWG\CONSTRUCTION\DOCUMENT\112-CD-C2.12.dwg



LEGEND

- EXISTING GROUND CONTOUR
FINISHED GROUND CONTOUR
PROPOSED SPOT ELEVATIONS
EXISTING SEWER
PROPOSED SEWER
EXISTING WATER
PROPOSED WATER
EXISTING STORM DRAIN
PROPOSED STORM DRAIN
LIMITS OF DEMOLITION
AC PAVEMENT (3" AC OVER 6" AB)
AC PAVEMENT OVERLAY
REMOVE AND REPLACE CONCRETE (TRENCHING)
FIRELANE

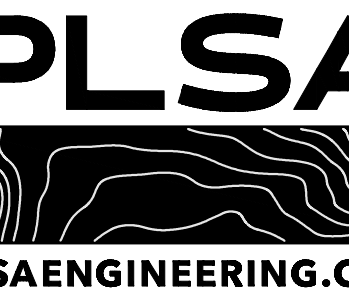
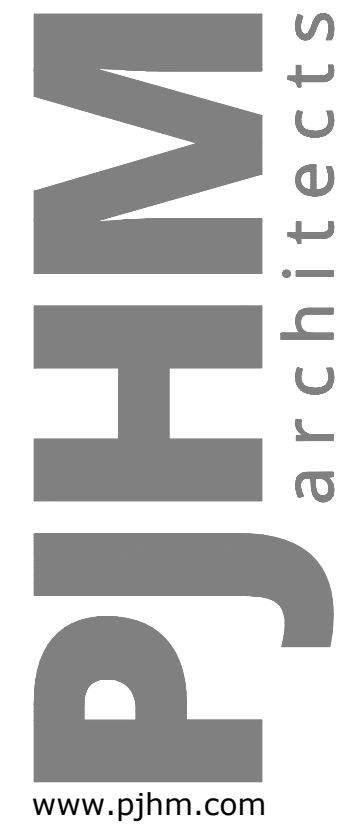
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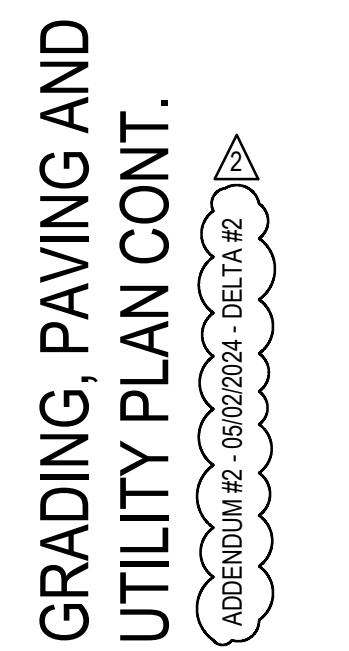
SEWER DATA TABLE			
NO.	LENGTH	BEARING/DELTA	DESCRIPTION
1	3.00'	N 89°46'16" E	3" SDR-35 PVC, S=0.01
2	63.50'	N 30°13'44" W	3" SDR-35 PVC, S=0.01
3	194.02'	N 45°09'27" E	3" SDR-35 PVC, S=0.01
4	9.89'	N 00°05'27" E	3" SDR-35 PVC, S=0.01

WATER DATA TABLE			
NO.	LENGTH	BEARING/DELTA	DESCRIPTION
1	1.00'	N 89°46'16" E	12" COPPER TUBING, TYPE L, HARD
2	38.54'	S 30°13'44" E	12" COPPER TUBING, TYPE L, HARD
3	48.79'	N 59°46'16" E	12" COPPER TUBING, TYPE L, HARD

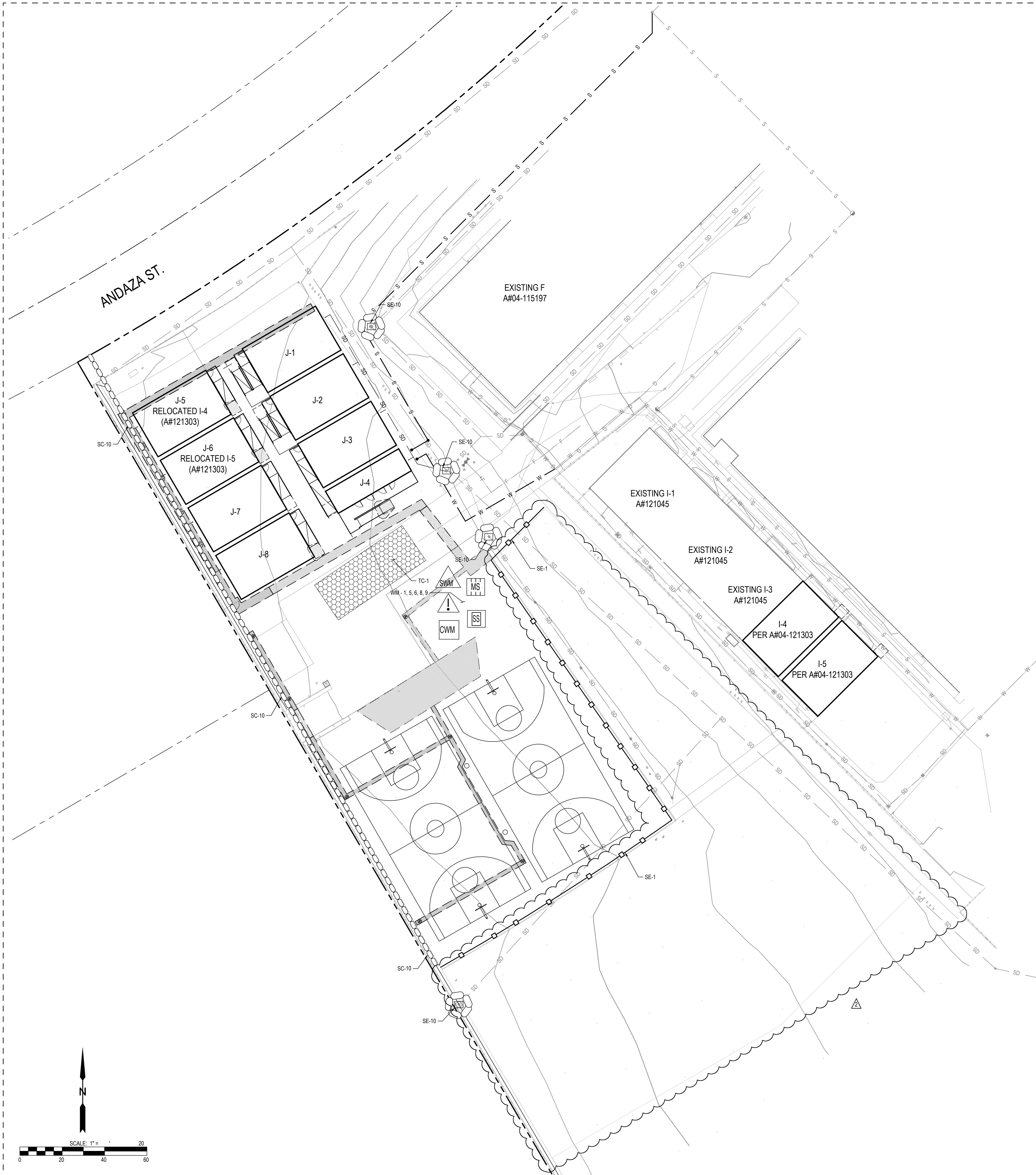
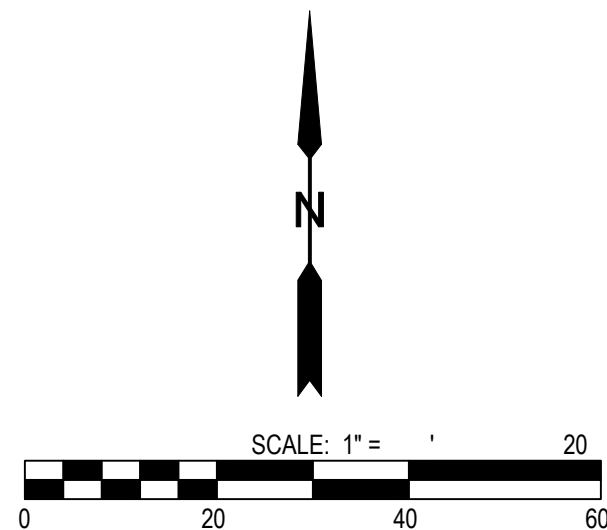
STORM DRAIN DATA TABLE			
NO.	LENGTH	BEARING/DELTA	DESCRIPTION
1	13.50'	N 75°15'30" W	4" PVC PIPE, S=0.02
2	101.00'	N 30°13'44" W	4" PVC PIPE, S=0.04
3	5.89'	N 75°13'44" W	4" PVC PIPE, S=0.04



ESENCIA K-8 SCHOOL
MODULARS
5 APRENDER, RANCHO VIEJO, CA 92694
CAPISTRANO SCHOOL DISTRICT



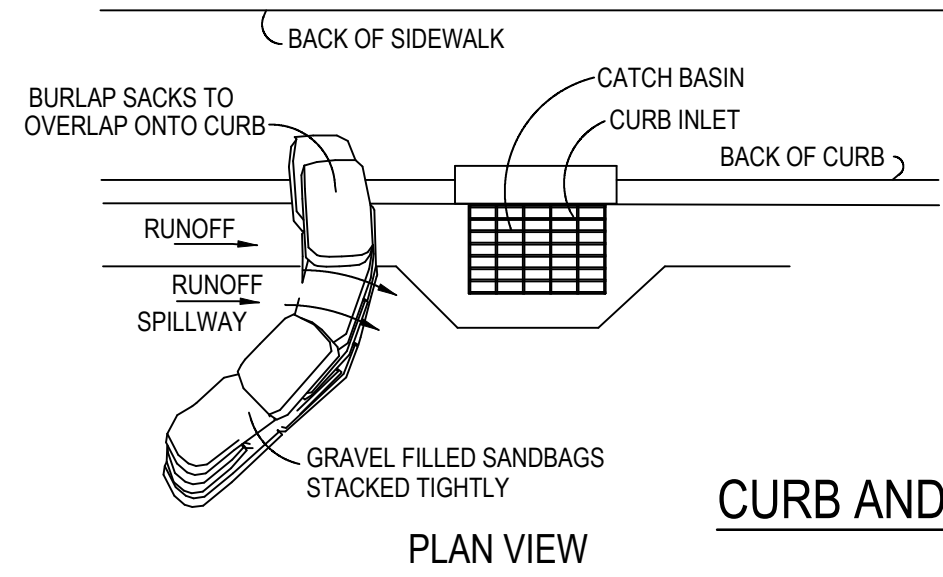
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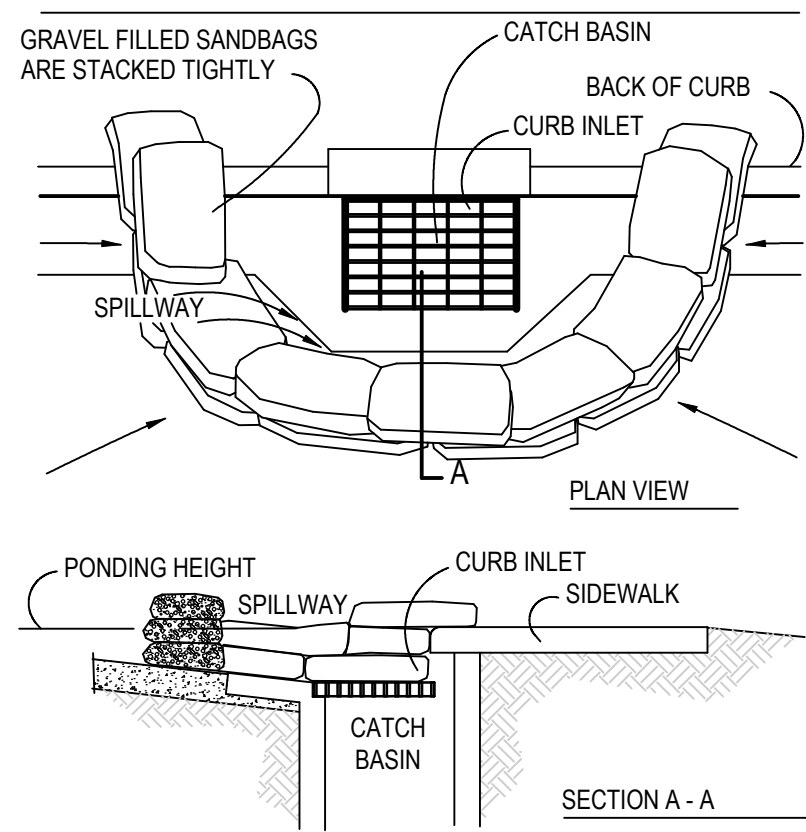
LEGEND

CASQA BEST MANAGEMENT PROTECTION

DESCRIPTION	QTY	SYMBOL
SE-1 SILT FENCE	314 L.F.	
SE-5 FIBER ROLLS	N/A	
SC-10 GRAVEL BAGS (2 BAGS HIGH)	424 L.F.	
SE-10 STORM DRAIN INLET PROTECTION (GRAVEL BAGS)	4 EA	
SE-6 GRAVEL BAG REDUCER	N/A	
EC-3.4 HYDROSEEDING/BONDED FIBER MATRIX	N/A	
TC-1 STABILIZED CONSTRUCTION ENTRANCE INCLUDING CORRUGATED STEEL PANELS	1 EA	
WM-1 MATERIAL DELIVERY STORAGE	1 EA	
WM-5 SOLID WASTE MANAGEMENT	1 EA	
WM-6 HAZARDOUS WASTE MANAGEMENT	1 EA	
WM-8 CONCRETE WASTE MANAGEMENT	1 EA	
WM-9 SANITARY/SEPTIC WASTE MANAGEMENT	1 EA	

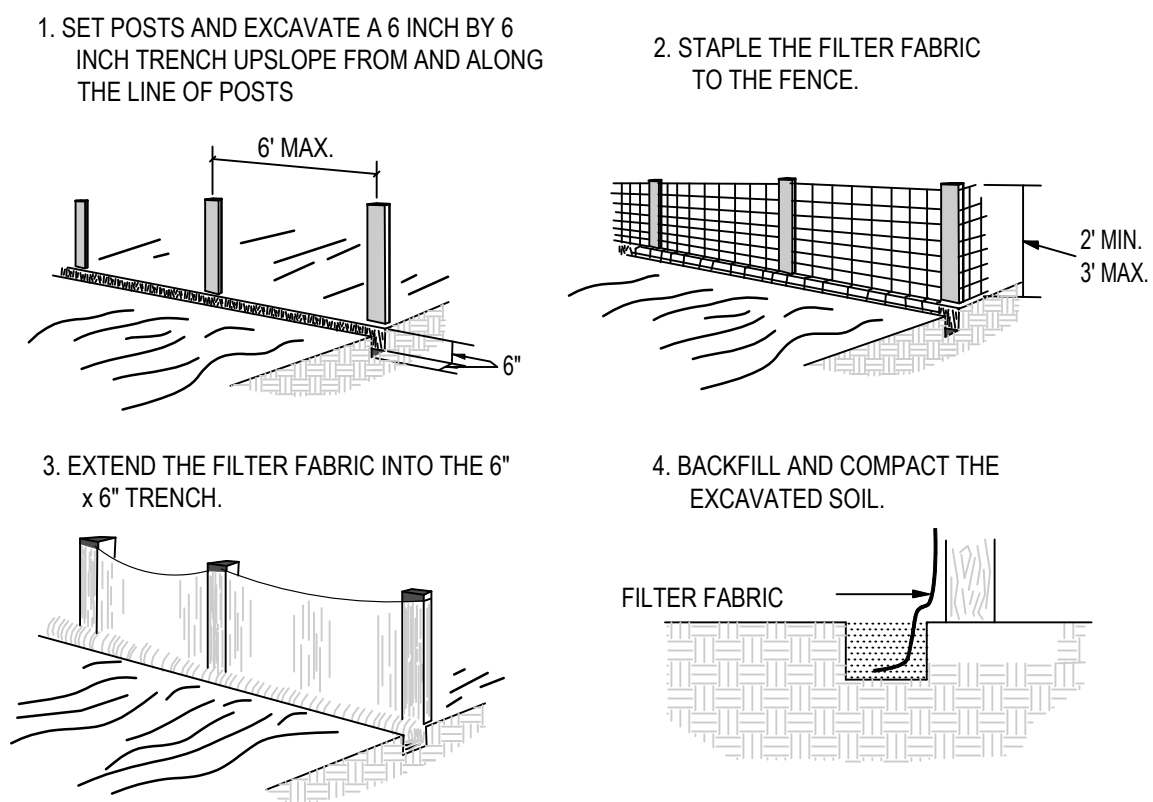


CURB AND GUTTER SEDIMENT BARRIER
DETAIL
NOT TO SCALE



- NOTES:
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 2. SANDBAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

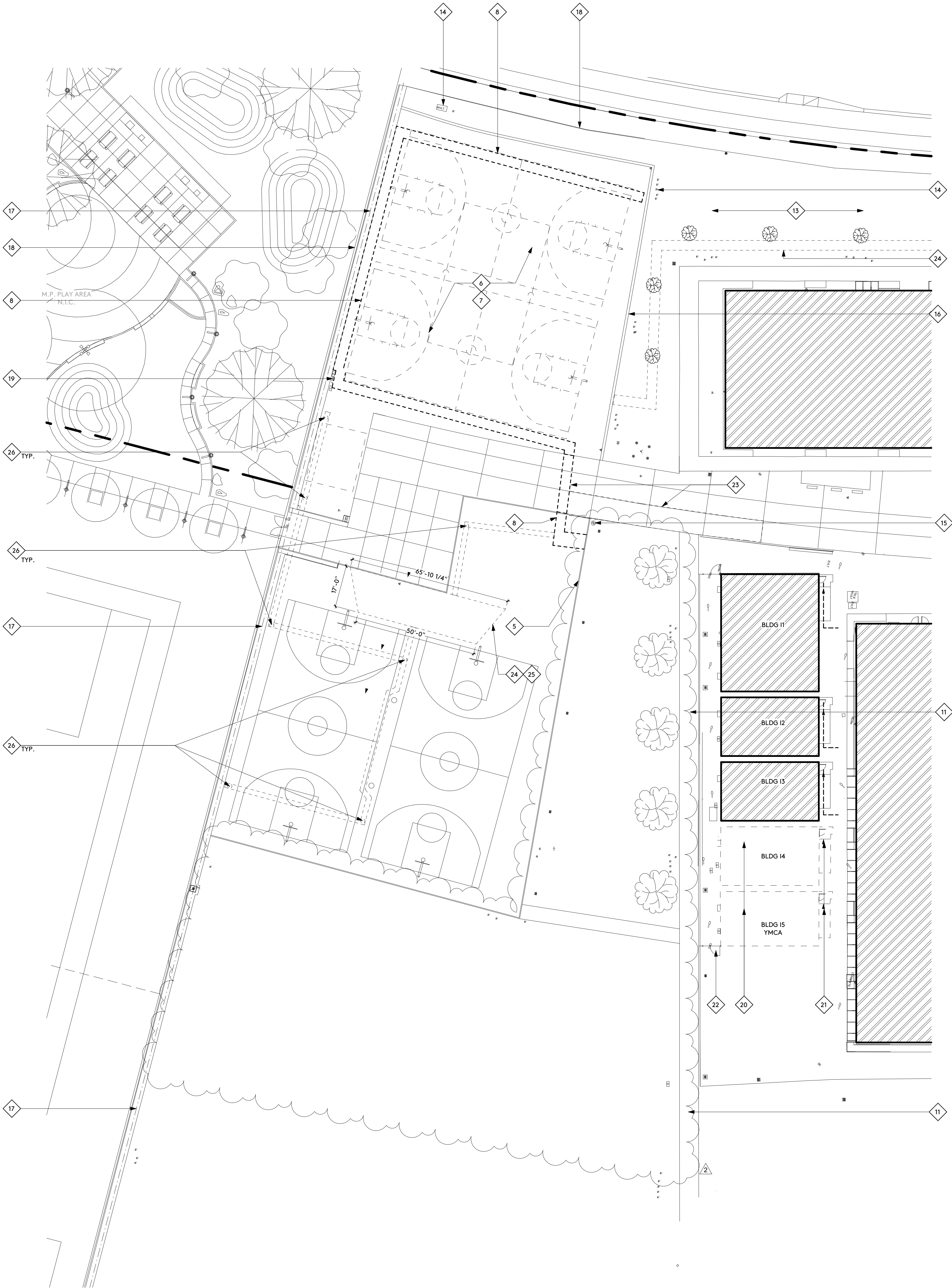
CURB INLET SEDIMENT BARRIER DETAIL
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE

5/2/2024 7:59:28 AM

SITE DEMO PLAN - ENLARGED



1. CONTRACTORS BIDDING OR PERFORMING WORK SHALL VERIFY THE CONDITIONS OF THE SITE, INCLUDING ACCESS BEFORE SUBMITTING BID OR COMMENCING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOR PROMPT DIRECTION.
2. THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND UTILITIES OR STRUCTURES INDICATED OR NOT ON THE DRAWINGS ARE OBTAINED BY SEARCH OF AVAILABLE RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXACT LOCATIONS. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES AND OTHER STRUCTURES. ANY DAMAGE SHALL BE PROMPTLY RESTORED TO THE OWNERS SATISFACTION.
3. REFERENCE CIVIL AND ELECTRICAL DRAWINGS FOR ALL UNDERGROUND UTILITY WORK TO BE COMPLETED IN THIS CONTRACT.
4. GENERAL CONTRACTOR TO COORDINATE ALL PHASING AND UTILITY INTERRUPTIONS OF THIS PROJECT WITH THE OWNER AND ARCHITECT AS TO DO THE LEAST POSSIBLE INTERRUPTIONS. (AS-REQ'D)
5. PROVIDE CONSTRUCTION BARRICADES AS REQUIRED TO PROTECT THE PUBLIC'S HEALTH AND SAFETY INCLUDING WORK UNDER CONSTRUCTION TO THE REQUIREMENTS OF THE OWNER. COVER OPEN TRENCHES WITH ADEQUATE SOLID MATERIAL.
6. EXCAVATION AND TRENCHING SHALL COMPLY WITH THE REQUIREMENTS OF THE TESTING LAB AND JURISDICTIONAL REQUIREMENTS AT THE TIME WORK COMMENCES AND UP TO COMPLETION OF THE WORK.
7. COMPLY WITH 2022 CALIFORNIA FIRE CODE, CHAPTER 33 FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.
8. TEMPORARY CONSTRUCTION FENCING TO BE SUPPLIED BY CONTRACTOR
9. ALL MODULAR BUILDINGS WITHIN THE SCOPE OF THIS PROJECT SHALL HAVE THE BUILDING SERIAL NUMBERS AND THE DSA APPLICATION NUMBER INSCRIBED ON THE INSIDE OF THE BUILDING ELECTRICAL PANEL.

GENERAL NOTES

1. NOT USED
2. NOT USED
3. NOT USED
4. NOT USED
5. NOT USED
6. REMOVE EXISTING SOIL AS REQUIRED FOR NEW PAVING SECTION, REFER TO CIVIL DRAWINGS.
7. REMOVE EXISTING PLAY COURT EQUIPMENT AND SUPPORTS. REMOVE ALL BELOW-GRADE FOOTINGS, BACKFILL EXCAVATIONS AND PATCH WITH NEW PAVING.
8. REMOVE AND REPLACE EXISTING ASPHALT PAVING AS REQUIRED FOR NEW UNDERGROUND UTILITIES, REFER TO CIVIL AND/OR ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. (E) ASPHALT PAVING TO REMAIN, PROTECT IN PLACE.
11. (E) CONCRETE PAVING TO REMAIN, PROTECT IN PLACE.
12. (E) PLAY TURF TO REMAIN, PROTECT IN PLACE. PATCH WHERE REQUIRED BY IRRIGATION DEMOLITION AND CAP WORK.
13. EXISTING LANDSCAPE AREA TO REMAIN, REFER TO ELECTRICAL DRAWINGS FOR TRENCHING REQUIRED FOR NEW UTILITIES.
14. EXISTING IRRIGATION EQUIPMENT TO REMAIN, PROTECT IN PLACE.
15. EXISTING SITE LIGHTING FIXTURE TO REMAIN.
16. EXISTING CONCRETE CURB TO REMAIN, PROTECT IN PLACE.
17. EXISTING CONCRETE V-GUTTER TO REMAIN, PROTECT IN PLACE.
18. EXISTING SITE FENCING TO REMAIN, PROTECT IN PLACE.
19. EXISTING SITE ELECTRICAL VAULTS TO REMAIN, ALSO REFER TO ELECTRICAL DRAWINGS.
20. (E) MODULAR CLASSROOM BUILDING (PC02-118101 / SITE A04-121303) TO BE DISCONNECTED FROM ALL UTILITIES. REMOVE VCT AND REMOVED FOR REINSTALLATION AS A PART OF THIS PROJECT.
21. (E) MODULAR RAMP (PC02-118101 / SITE A04-121303) TO BE REMOVED FOR REINSTALLATION AS A PART OF THIS PROJECT.
22. (E) CHAIN LINK FENCE AND GATE TO REMAIN, TEMPORARILY REMOVE AS REQUIRED TO PERFORM ADJACENT WORK.
23. REMOVE AND REPLACE EXISTING CONCRETE PAVING AS REQUIRED FOR NEW UNDERGROUND UTILITIES, REFER TO CIVIL AND OR ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
24. REMOVE AND REPLACE EXISTING SOIL / LANDSCAPING AS REQUIRED FOR NEW UNDERGROUND UTILITIES, REFER TO CIVIL AND OR ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
25. EXISTING ASPHALT PAVING SECTION TO BE REMOVED TO NATIVE SOIL. NATIVE SOIL TO BE EXCAVATED AS REQUIRED TO DEPTH OF NEW PAVING SECTION.
26. REMOVE EXISTING PAVING AS REQUIRED TO INSTALL UNDERGROUND CONDUITS THAT POWER NEW FIXTURES, AT CONCRETE PAVING, REMOVE ENTIRE CONCRETE PANEL TO AVOID CUTS ON PANELS.

DEMO ENLARGED PLAN KEYNOTES

- (E) BUILDING / (E) STRUCTURE
- 1
A-10
DETAIL REFERENCE NUMBER
SHEET REFERENCE NUMBER
- G#
(N) SITE GATE, SEE 'SITE DETAILS' - FENCES & GATES' SHEETS
- DEMOLISH
SITE PROPERTY LINE
MATCHLINE
- (E) PATH OF TRAVEL

"PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER-FREE ACCESSIBLE ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT A SLOPE NOT STEEPER THAN 1:2, EXCEPT THAT LEVEL CHANGES ARE 1/4" MAXIMUM VERTICAL AND IS AT LEAST 48" WIDE. SURFACE SHALL BE STABLE, FIRM, AND SLIP RESISTANT. CROSS-SLOPE SHALL NOT BE STEEPER THAN 1:48 AND RUNNING SLOPE SHALL NOT BE STEEPER THAN 1:20 UNLESS OTHERWISE INDICATED (SECTION 11B-403.3). P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (SECTION 11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL SURFACE BETWEEN 27" AND 80" ABOVE FINISH FLOOR OR GROUND (SECTION 11B-307.2). PROVIDE FLUSH TRANSITIONS AT ANY ADJOINING JOINTS BETWEEN NEW AND EXISTING (E) WALK SURFACES IN P.O.T. ARCHITECT TO VERIFY THAT THERE ARE NO BARRIERS IN THE P.O.T. AND ALL P.O.T. COMPLY WITH SECTION 11B-206.

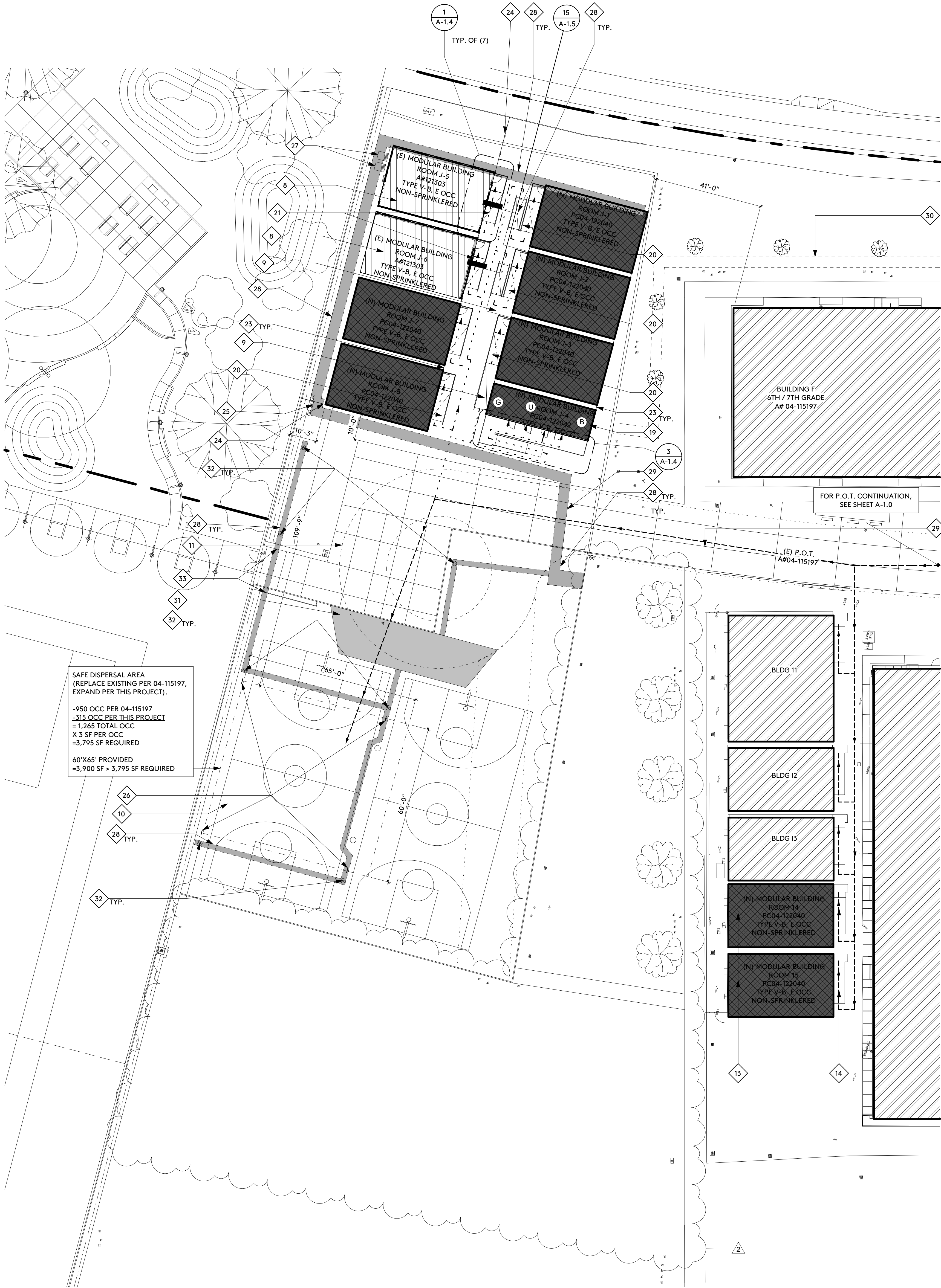
"DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS MEETS THE REQUIREMENTS OF THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE (CBC) ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT WITH THE CBC HAVE BEEN IDENTIFIED AND THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CBC COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THE ITEMS SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT."

SYMBOLS

5/2/2024 7:47:34 AM

SITE PLAN - ENLARGED



1. CONTRACTOR'S BIDDING OR PERFORMING WORK SHALL VERIFY THE CONDITIONS OF THE SITE, INCLUDING ACCESS BEFORE SUBMITTING BID OR COMMENCING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOR PROMPT DIRECTION.
2. THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND UTILITIES OR STRUCTURES INDICATED OR NOT ON THE DRAWINGS ARE OBTAINED BY SEARCH OF AVAILABLE RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXACT LOCATIONS. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES AND OTHER STRUCTURES. ANY DAMAGE SHALL BE PROMPTLY RESTORED TO THE OWNERS SATISFACTION.
3. REFERENCE CIVIL AND ELECTRICAL DRAWINGS FOR ALL UNDERGROUND UTILITY WORK TO BE COMPLETED IN THIS CONTRACT.
4. GENERAL CONTRACTOR TO COORDINATE ALL PHASING AND UTILITY INTERRUPTIONS OF THIS PROJECT WITH THE OWNER AND ARCHITECT AS TO DO THE LEAST POSSIBLE INTERRUPTIONS. (AS-REQ'D)
5. PROVIDE CONSTRUCTION BARRICADES AS REQUIRED TO PROTECT THE PUBLIC'S HEALTH AND SAFETY INCLUDING WORK UNDER CONSTRUCTION TO THE REQUIREMENTS OF THE OWNER. COVER OPEN TRENCHES WITH ADEQUATE SOLID MATERIAL.
6. EXCAVATION AND TRENCHING SHALL COMPLY WITH THE REQUIREMENTS OF THE TESTING LAB AND JURISDICTIONAL REQUIREMENTS AT THE TIME WORK COMMENCES AND UP TO COMPLETION OF THE WORK.
7. COMPLY WITH 2022 CALIFORNIA FIRE CODE, CHAPTER 33 FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.
8. TEMPORARY CONSTRUCTION FENCING TO BE SUPPLIED BY CONTRACTOR.
9. ALL MODULAR BUILDINGS WITHIN THE SCOPE OF THIS PROJECT SHALL HAVE THE BUILDING SERIAL NUMBERS AND THE DSA APPLICATION NUMBER INSCRIBED ON THE INSIDE OF THE BUILDING ELECTRICAL PANEL.

GENERAL NOTES

1. NOT USED
2. NOT USED
3. NOT USED
4. NOT USED
5. NOT USED
6. NOT USED
7. NOT USED
8. (N) 2X2 CARPET TILES TO MATCH NEW MODULAR BUILDINGS.
9. (N) LANDING AND RAMP EXTENSION PER PC04-122040
10. (E) ASPHALT PAVING TO REMAIN, PROTECT IN PLACE.
11. (E) CONCRETE PAVING TO REMAIN, PROTECT IN PLACE.
12. (E) PLAY TURF TO REMAIN, PROTECT IN PLACE. PATCH WHERE REQUIRED BY IRRIGATION DEMOLITION AND CAP WORK.
13. (N) MODULAR CLASSROOM BUILDING PER PC04-122040. BUILDING TO HAVE 1-HOUR FIRE RATED EXTERIOR WALLS AND RATED OPENINGS AS REQUIRED DUE TO PROXIMITY TO EXISTING BUILDING. INSTALL IN THE LOCATION AS REMOVED BUILDINGS. RE-CONNECT TO EXISTING UTILITIES.
14. (N) MODULAR RAMP PER MODULAR BUILDING DRAWINGS. INSTALL IN THE SAME LOCATION AS REMOVED RAMP FROM BUILDINGS.
15. NOT USED
16. (N) ASPHALT SEAL COAT OVER EXISTING ASPHALT PAVING. REFER TO SPECIFICATIONS.
17. NOT USED
18. NOT USED
19. (N) BUILDING IDENTIFICATION SIGN MOUNT AT 10'-0" A.E.F. VERIFY LOCATION WITH OWNER PRIOR TO INSTALLATION.
20. (N) MODULAR BUILDING RAMP PER MODULAR BUILDING DRAWINGS.
21. (E) MODULAR RAMP (PC02-118101 / SITE A04-121303) TO BE REINSTALLED AS A PART OF THIS PROJECT.
22. (E) CHAIN LINK FENCE AND GATE TO REMAIN, TEMPORARILY REMOVE AS REQUIRED TO PERFORM ADJACENT WORK.
23. (N) CHAIN LINK FENCE CLOSURE BETWEEN BUILDING PER DETAIL 1/A-1.6
24. (N) CHAIN LINK FENCING PER DETAIL 4/A-1.6
25. (N) CHAIN LINK FENCE GATE PER DETAIL 1/A-1.6
26. (N) SAFE DISPERSAL AREA SIGN PER DETAIL 9/A-1.6
27. (N) ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS
28. REMOVE AND REPLACE EXISTING ASPHALT PAVING AS REQUIRED FOR NEW UNDERGROUND UTILITIES. REFER TO CIVIL AND/OR ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
29. REMOVE AND REPLACE EXISTING CONCRETE PAVING AS REQUIRED FOR NEW UNDERGROUND UTILITIES. REFER TO CIVIL AND/OR ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION REFER TO DETAIL 7/A-1.5 FOR PAVING SECTION AT FIRE LINE
30. REMOVE AND REPLACE EXISTING SOIL / LANDSCAPING AS REQUIRED FOR NEW UNDERGROUND UTILITIES. REFER TO CIVIL AND/OR ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
31. (N) ASPHALT PAVING SECTION (0.35' AC O/O.8" CAB). FINISH SURFACE TO BE FLUSH WITH ADJACENT PAVING SURFACES.
32. (N) POST-MOUNTED EXTERIOR LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS
33. (N) ELECTRICAL TO BORE UNDERNEATH EXISTING SEAT WALL CONSTRUCTION, BOTTOM OF WALL APPROX. 24" BELOW FIN. SURFACE, V.I.F

ENLARGED PLAN KEYNOTES

- (E) BUILDING / (E) STRUCTURE (N.I.C.)
- (E) BUILDING PER A#121303, RELOCATED PER THIS PROJECT
- (N) PORTABLE/MODULAR BUILDING PER THIS PROJECT
REFER TO BUILDING MANUFACTURER DRAWINGS
- (N) LANDSCAPE, SEE LANDSCAPE DRAWINGS
- 1
A-1.0
DETAIL REFERENCE NUMBER
SHEET REFERENCE NUMBER
- GW
(N) SITE GATE, SEE 'SITE DETAILS - FENCES & GATES' SHEETS
- SITE PROPERTY LINE
- MATCHLINE
- (E) PATH OF TRAVEL PER EXISTING APPLICATION AS NOTED
- (N) PATH OF TRAVEL PER THIS APPLICATION

"PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER-FREE ACCESSIBLE ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT A SLOPE NOT STEEPER THAN 1:2. EXCEPT THAT LEVEL CHANGES ARE 1/4" MAXIMUM VERTICAL AND 5' AT LEAST 48" WIDE. SURFACE SHALL BE STABLE, FIRM, AND SLIP RESISTANT. CROSS-SLOPE SHALL NOT BE STEEPER THAN 1:48 AND RUNNING SLOPE SHALL NOT BE STEEPER THAN 1:20 UNLESS OTHERWISE INDICATED (SECTION 11B-403.3). P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (SECTION 11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL SURFACE BETWEEN 27" AND 80" ABOVE FINISH FLOOR OR GROUND (SECTION 11B-307.2). PROVIDE FLUSH TRANSITIONS AT ANY ADJOINING JOINTS BETWEEN NEW AND EXISTING (E) WALK SURFACES IN P.O.T. ARCHITECT TO VERIFY THAT THERE ARE NO BARRIERS IN THE P.O.T. AND ALL P.O.T. COMPLY WITH SECTION 11B-206.

"DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS MEETS THE REQUIREMENTS OF THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE (CBC). ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS, AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT WITH THE CBC HAVE BEEN IDENTIFIED AND THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS.

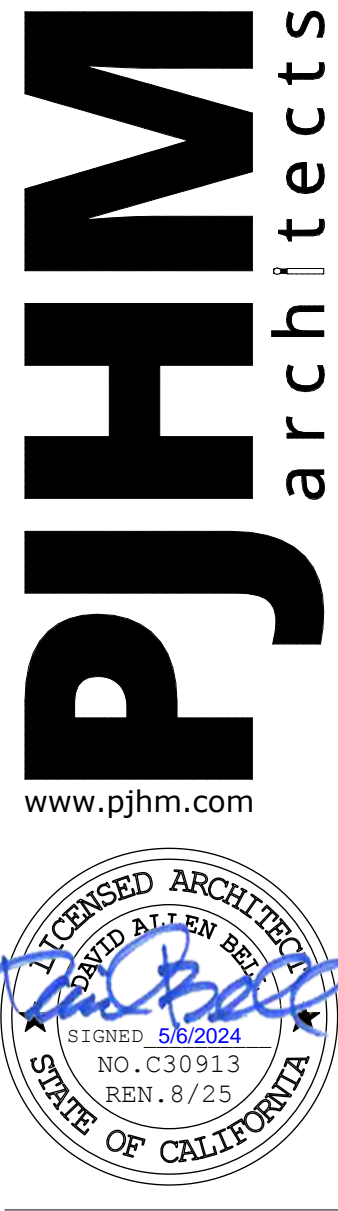
DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CBC COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THE ITEMS SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT."

SYMBOLS

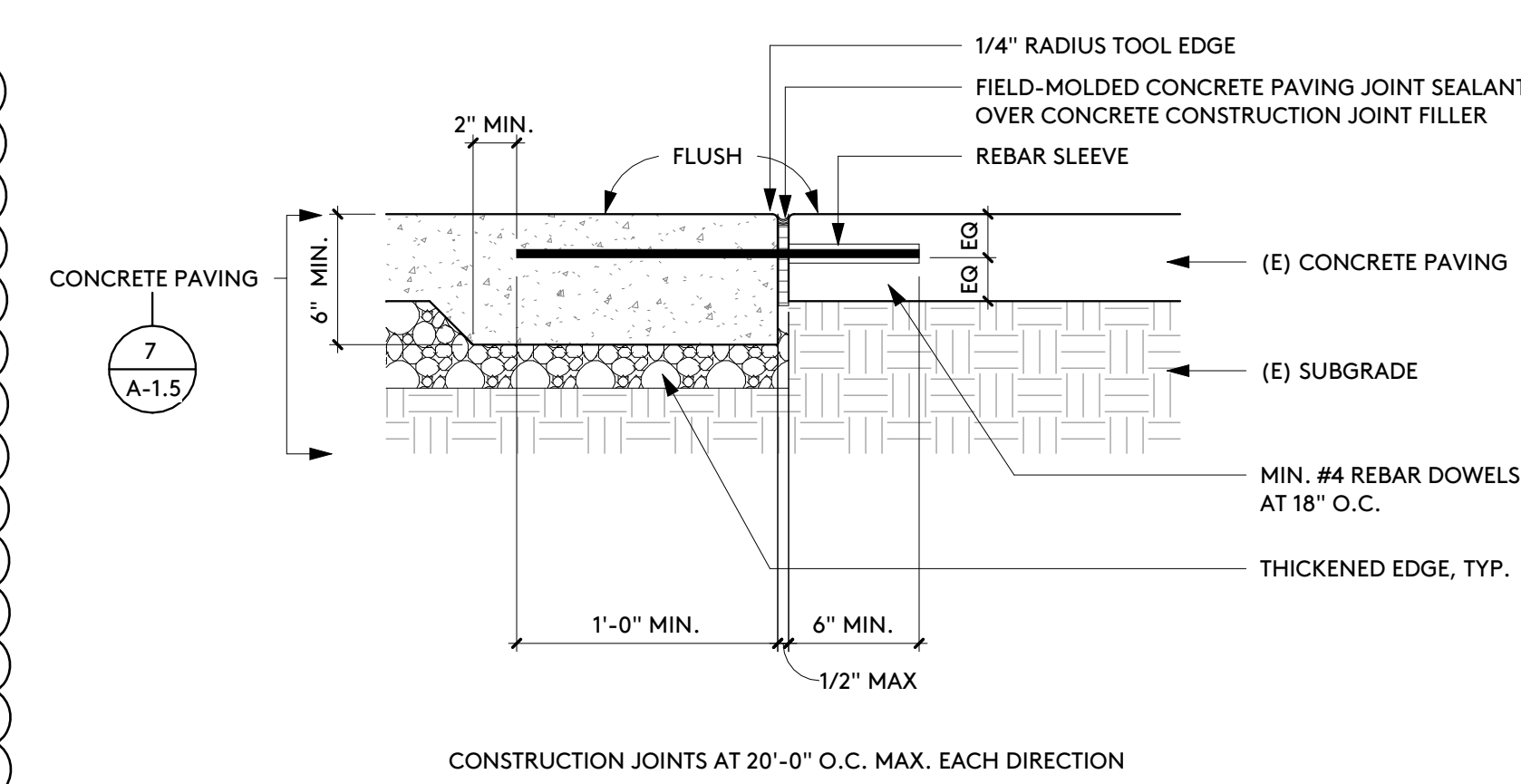
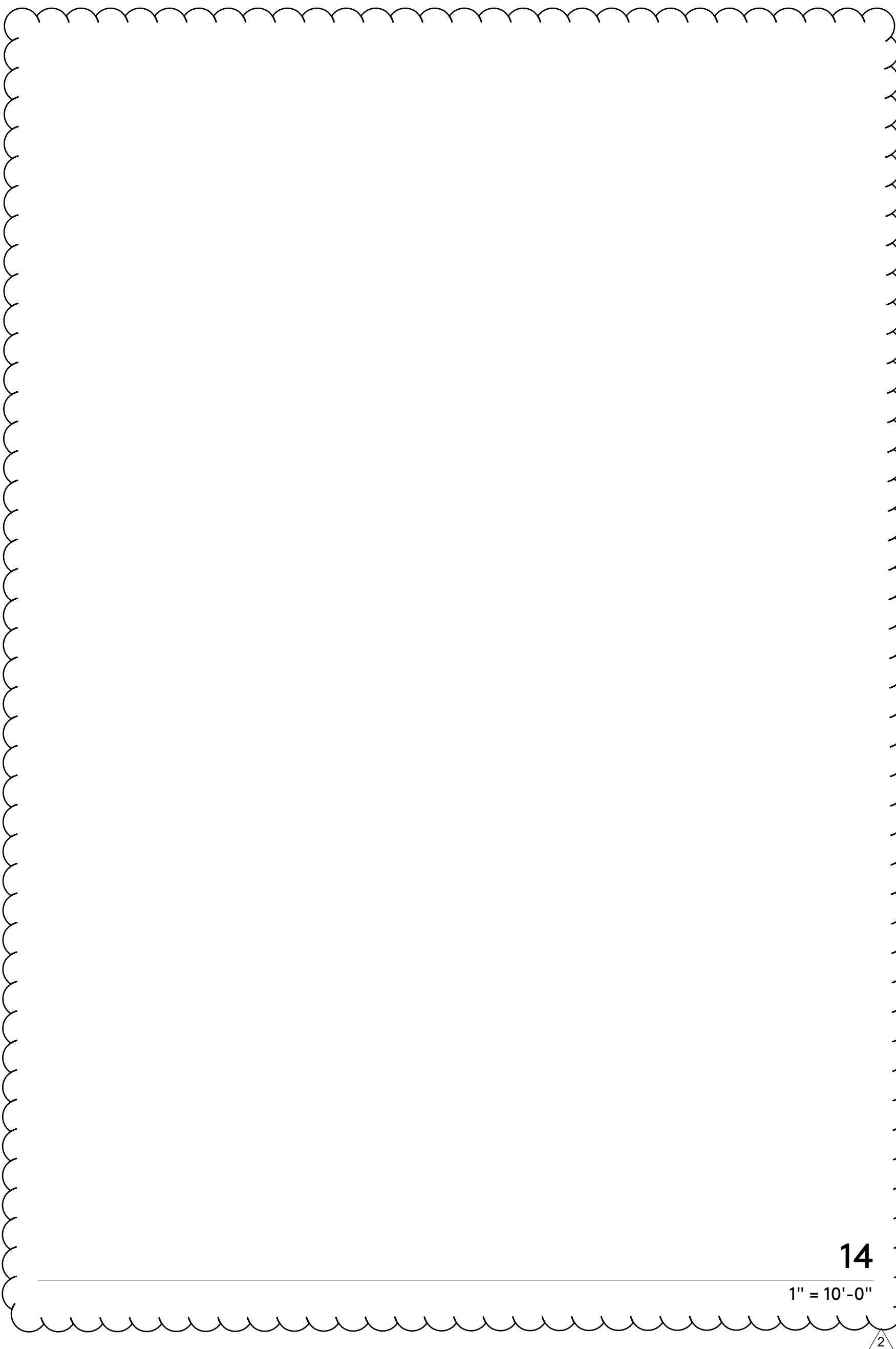
ESENCIA K-8 2024
MODULARS
5 APPENDER, RANCHO MISSION VIEJO, CA 92694
CAPISTRANO SCHOOL DISTRICT

SITE PLAN - ENLARGED

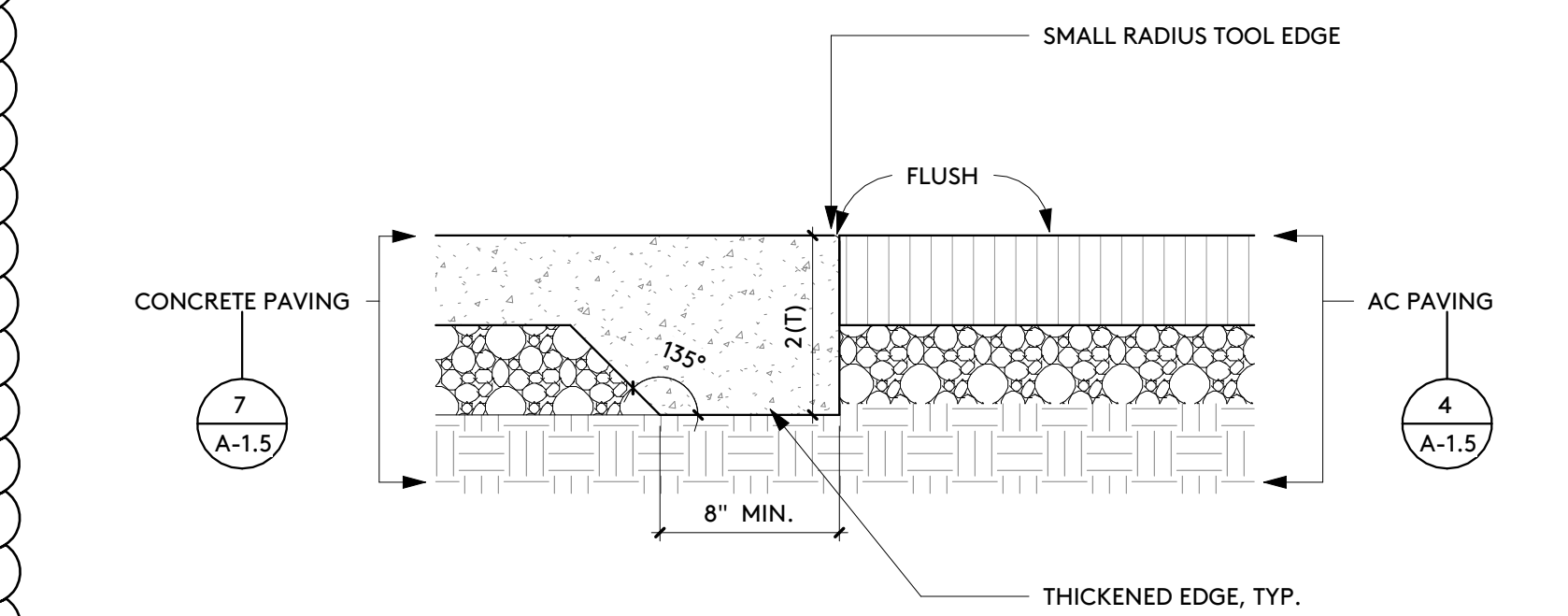
A-1.2



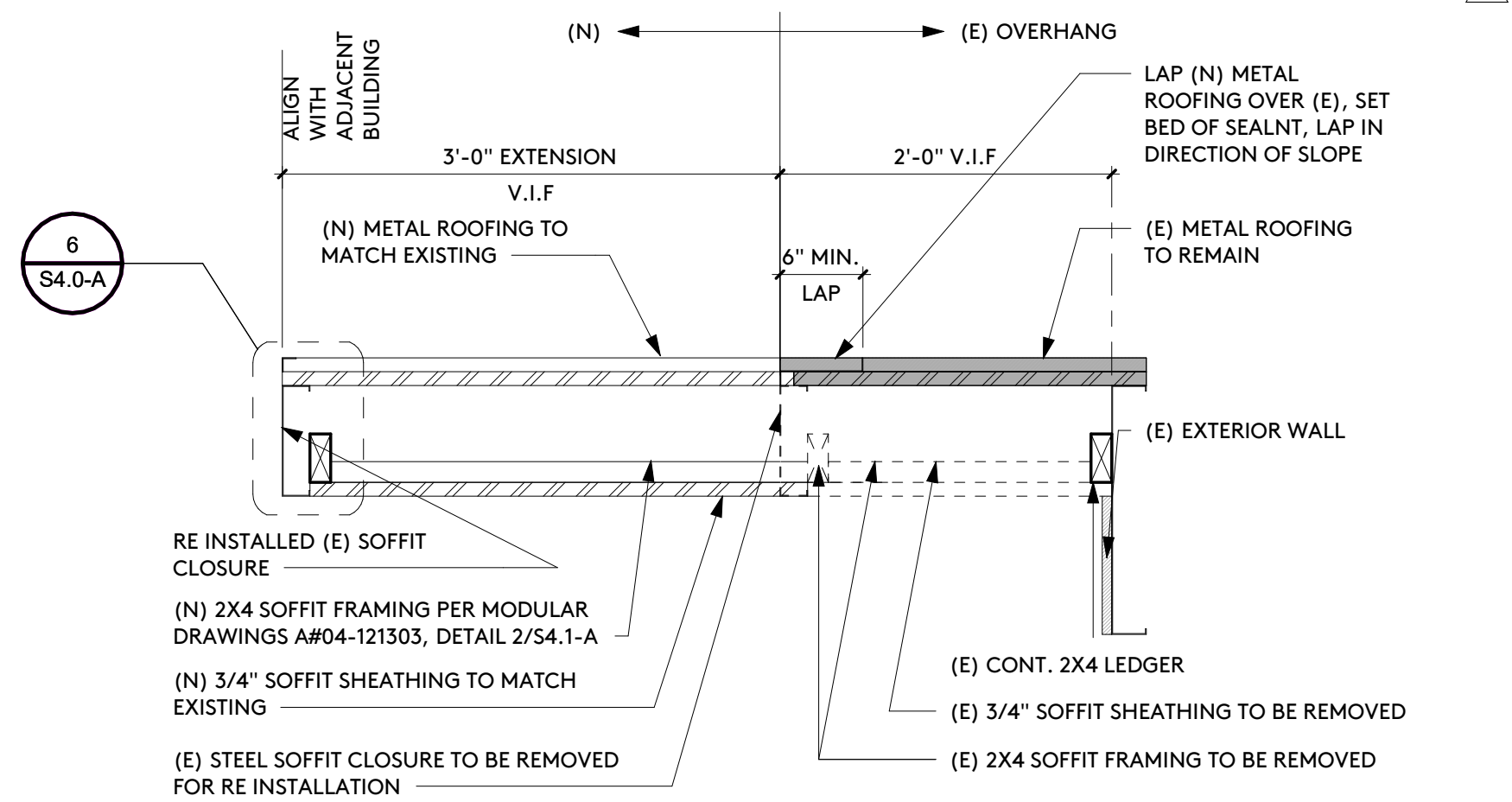
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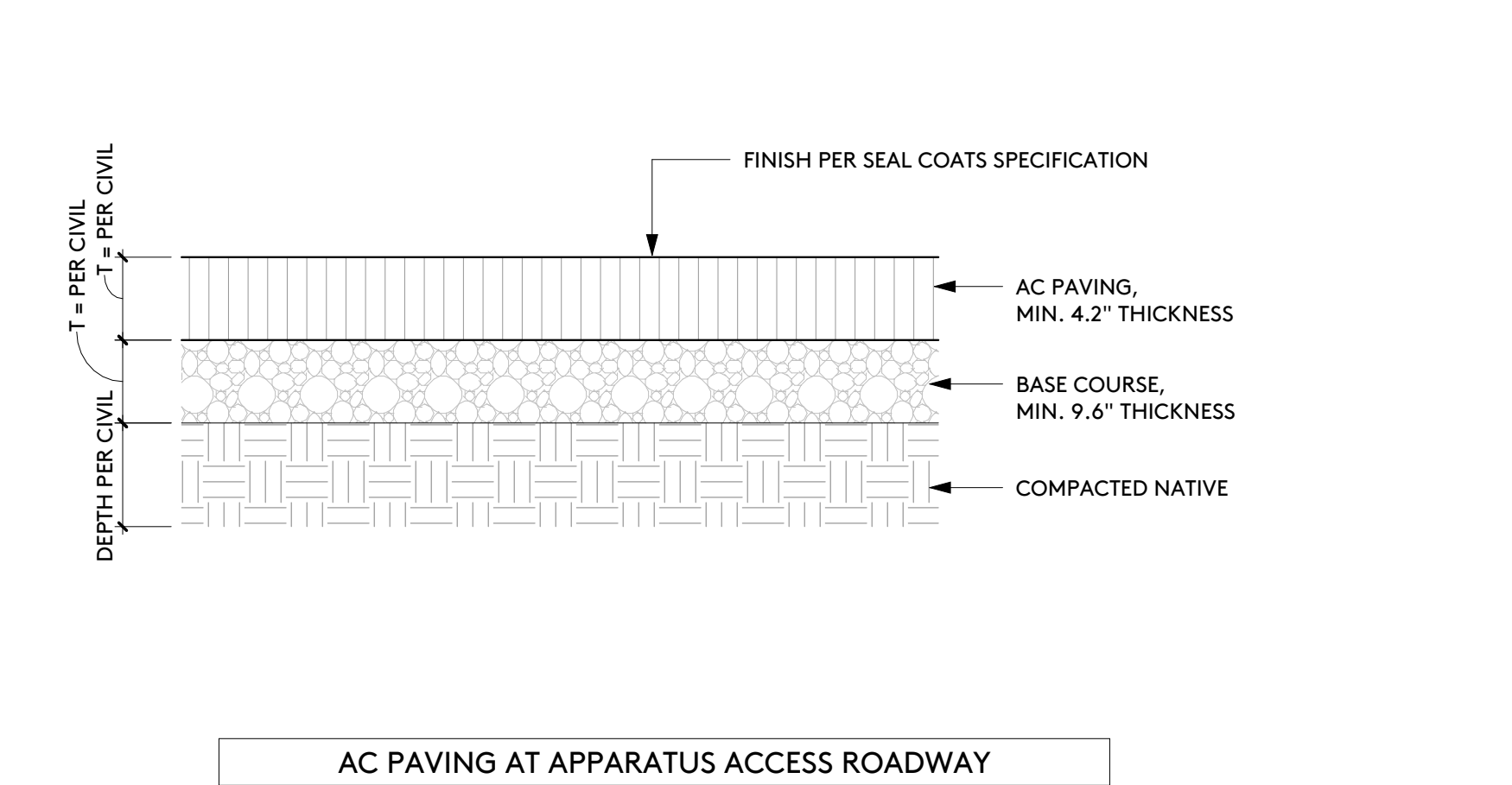
CONCRETE PAVING - CONSTRUCTION JOINT 9
1 1/2" = 1'-0"



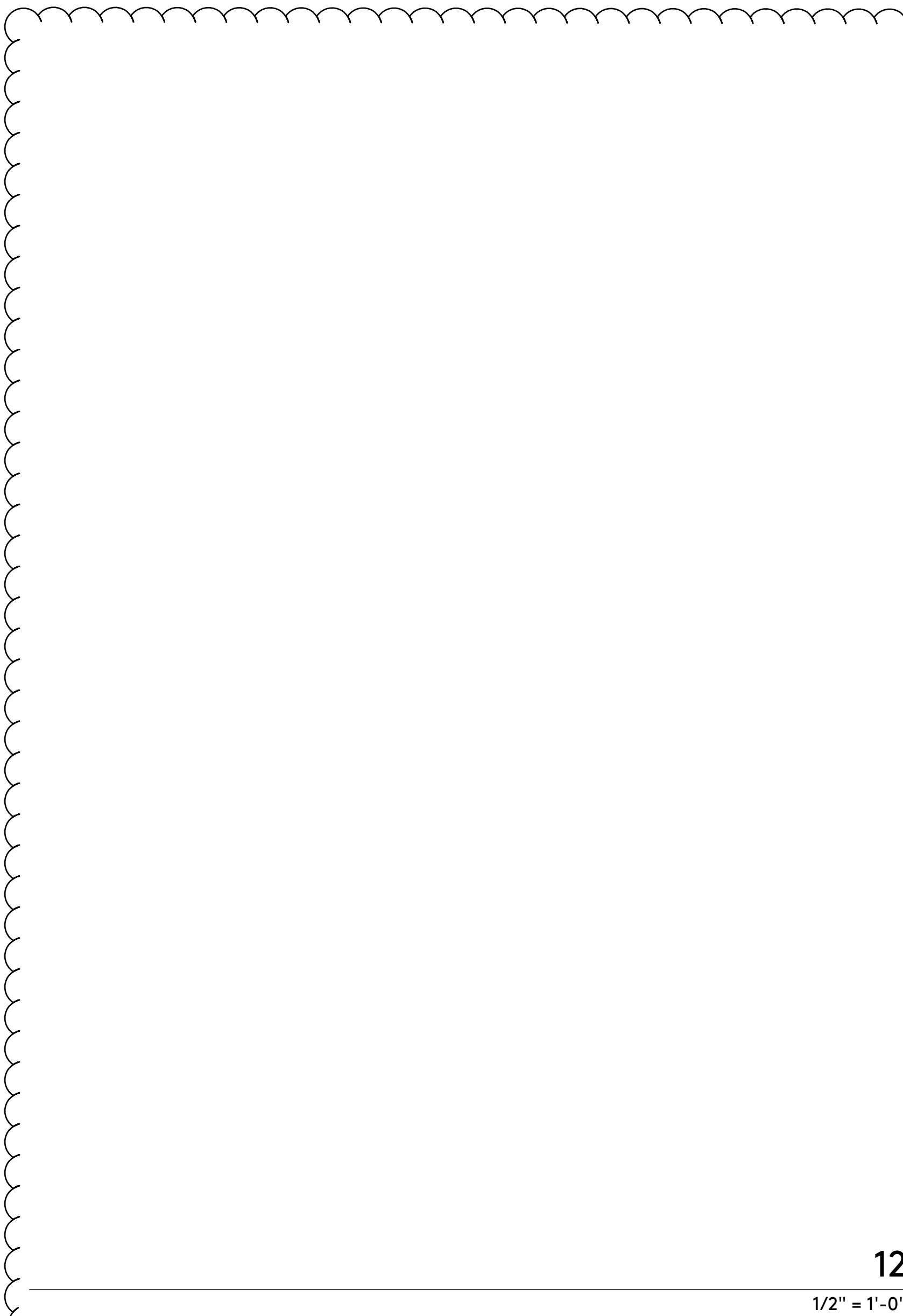
CONSTRUCTION JOINT - CONCRETE/AC 10
1 1/2" = 1'-0"



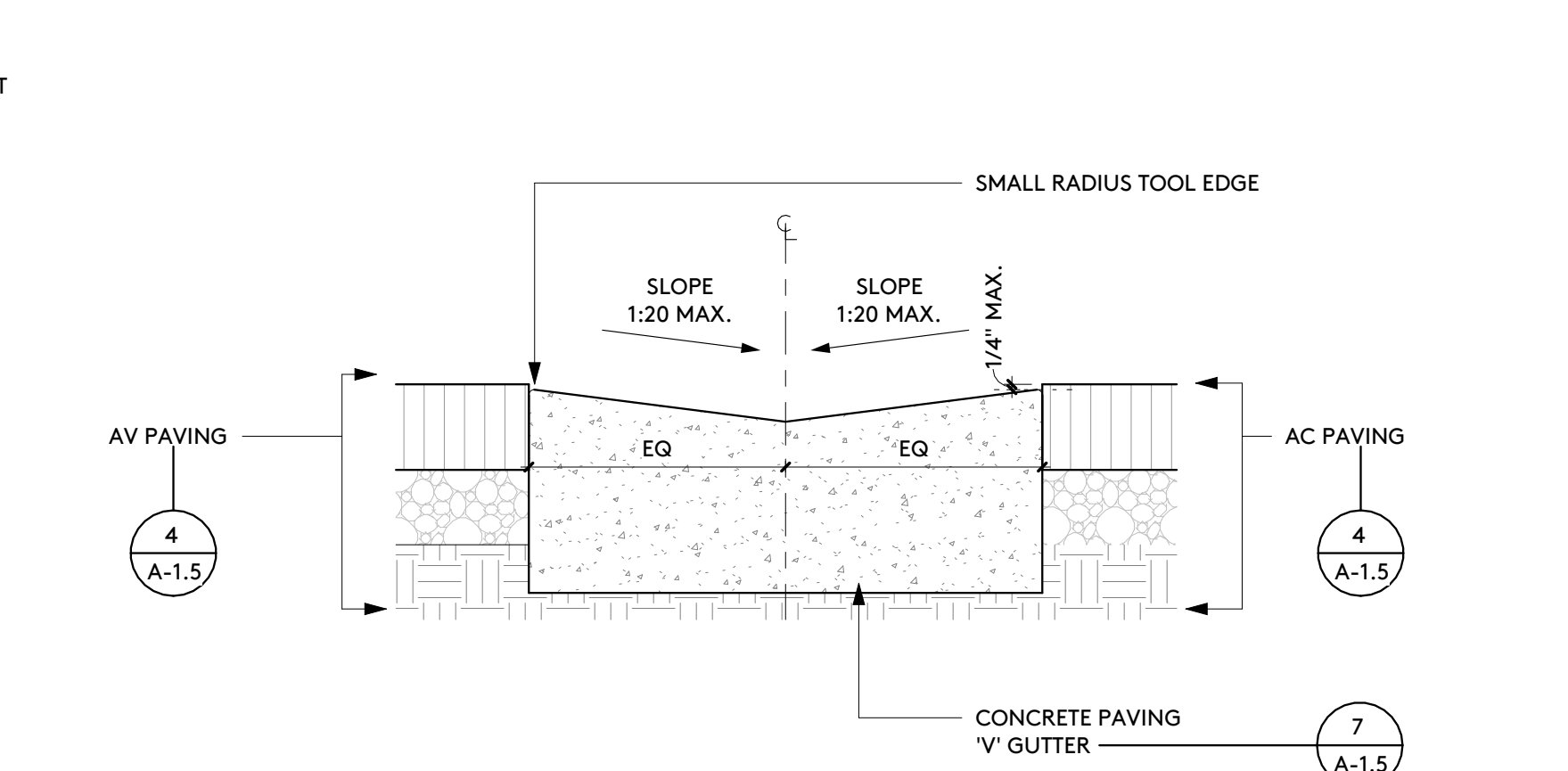
EXISTING OVERHANG EXTENSION 15
1" = 1'-0"



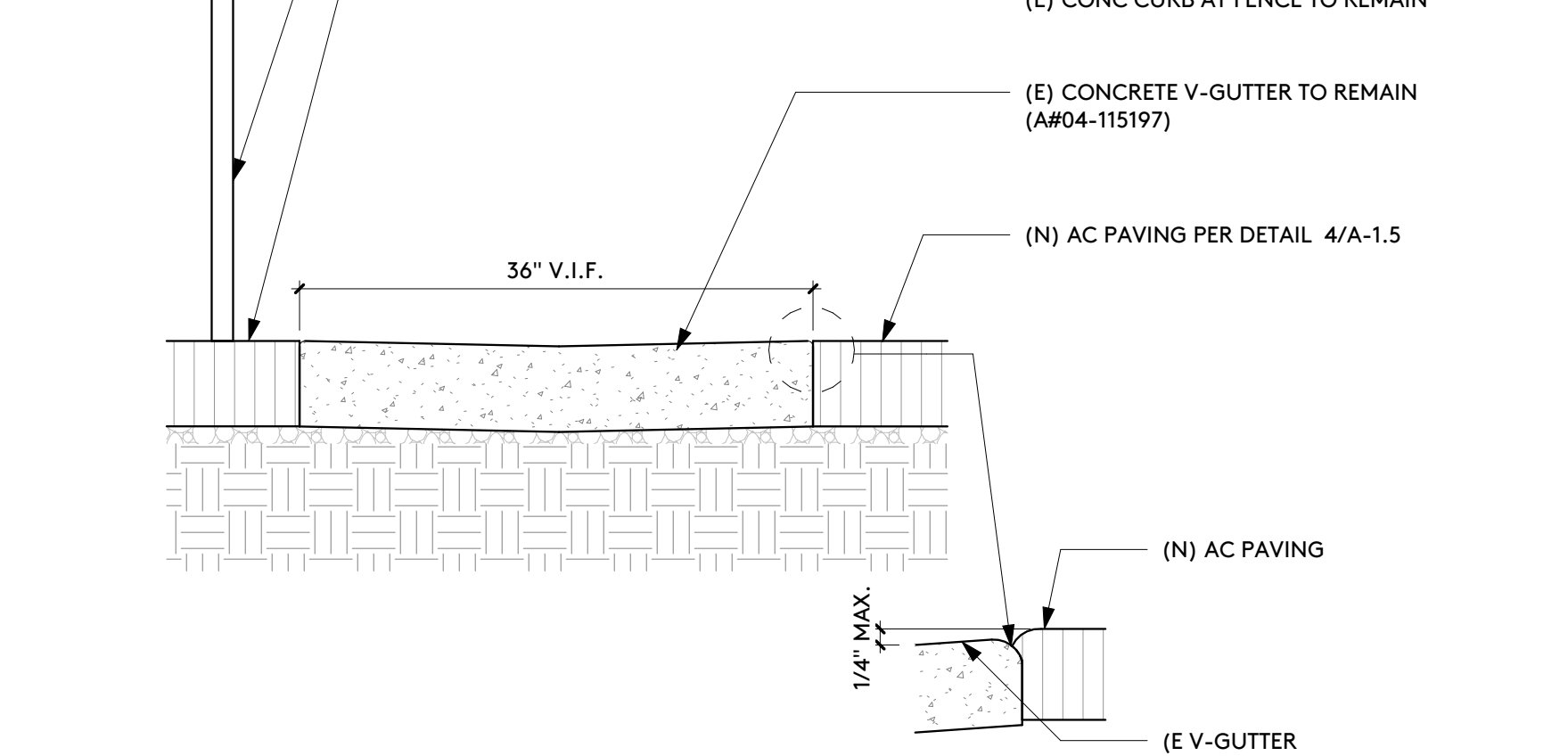
AC PAVING 11
1 1/2" = 1'-0"



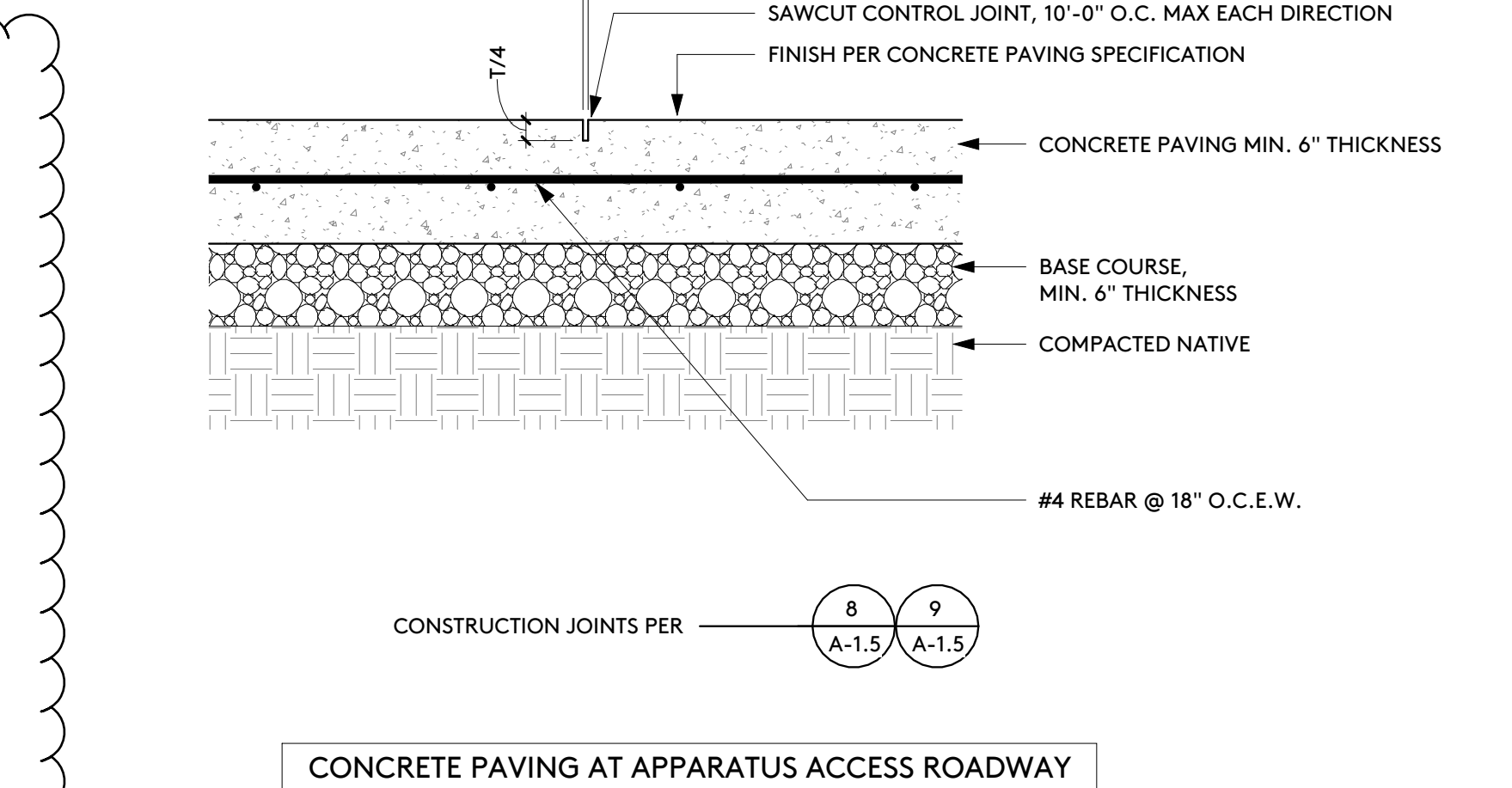
CONCRETE PAVING - CONSTRUCTION JOINT 12
1 1/2" = 1'-0"



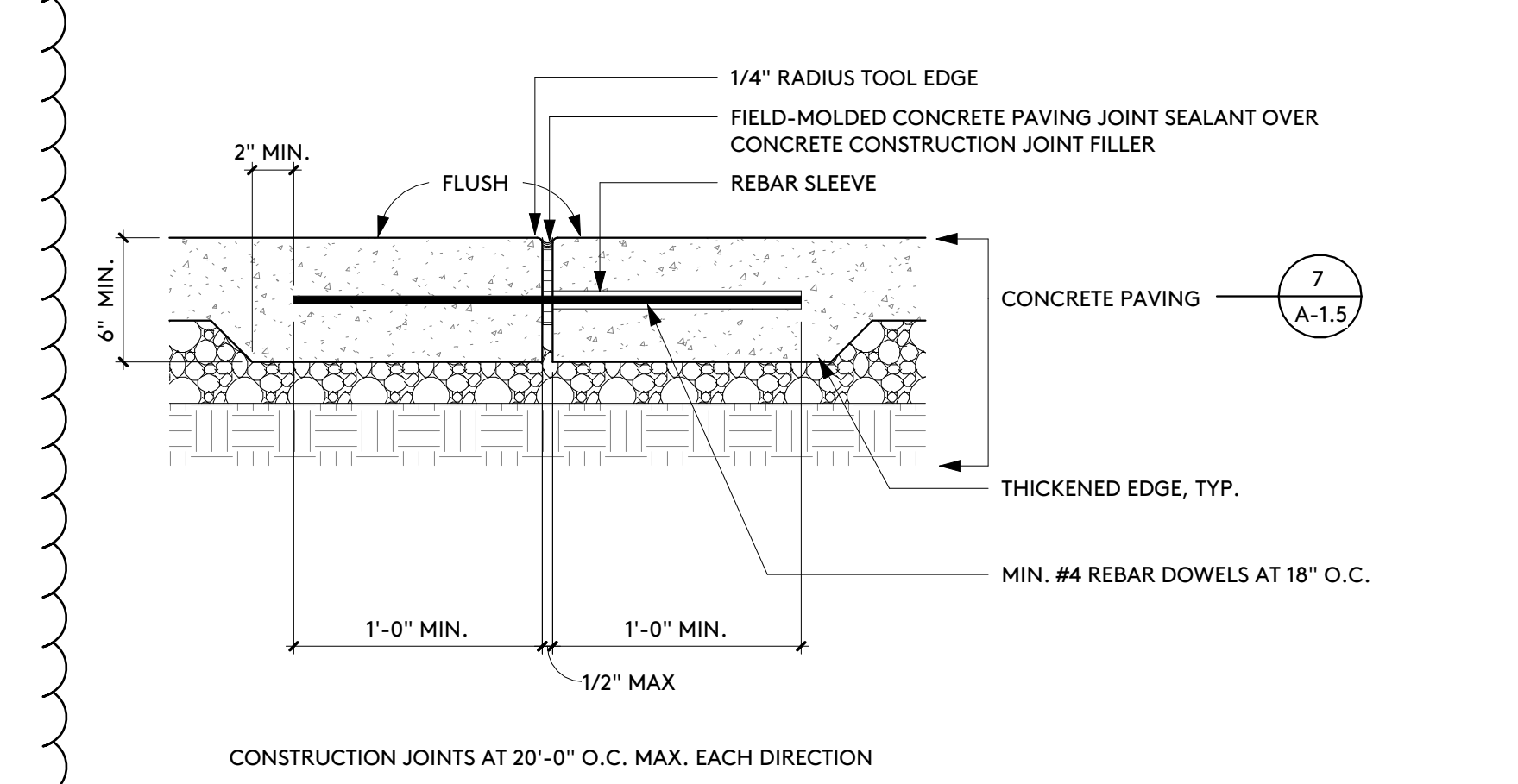
CONCRETE 'V' GUTTER 5
1 1/2" = 1'-0"



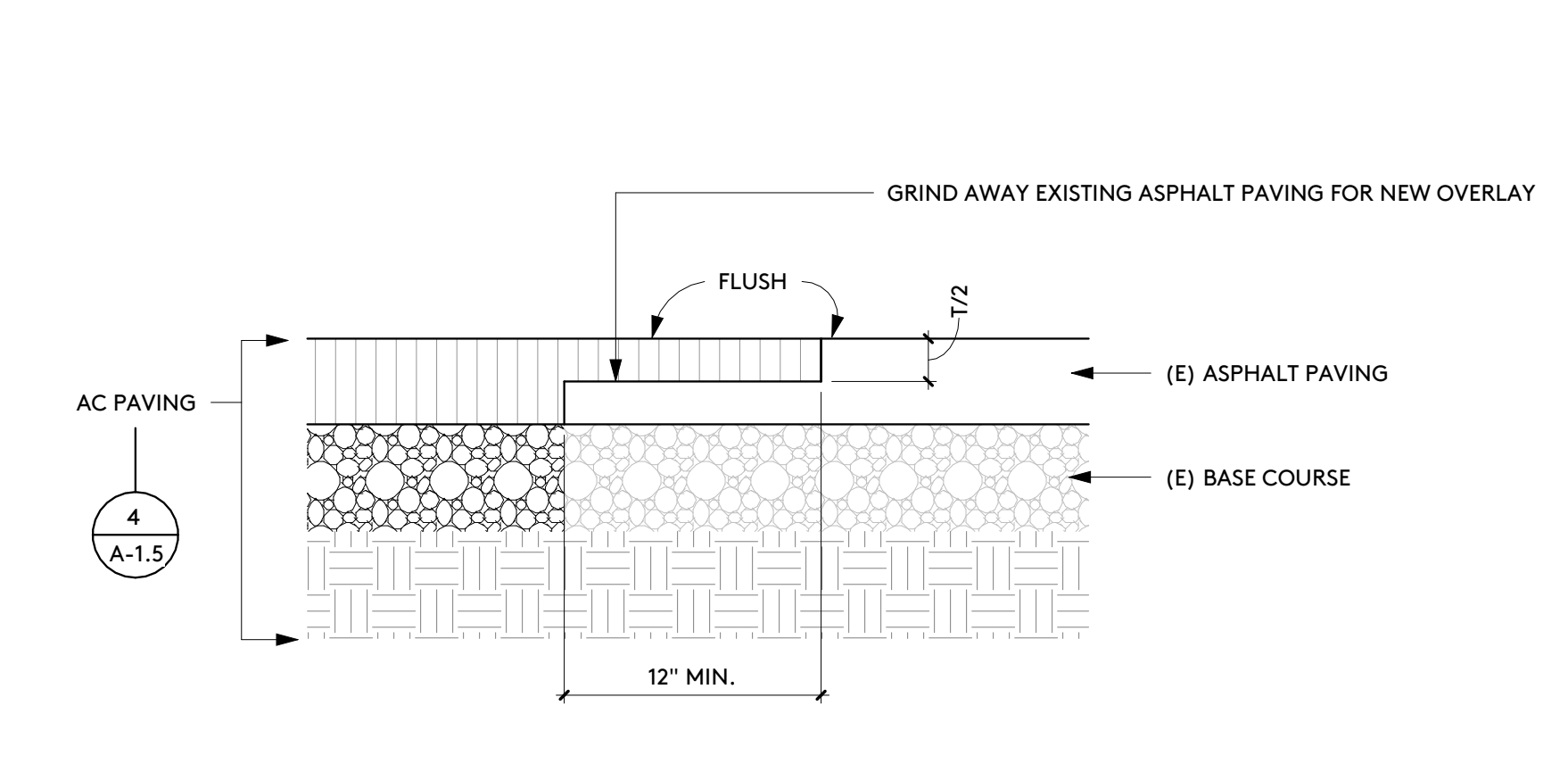
(N) ASPHALT EDGE 6
N.T.S.



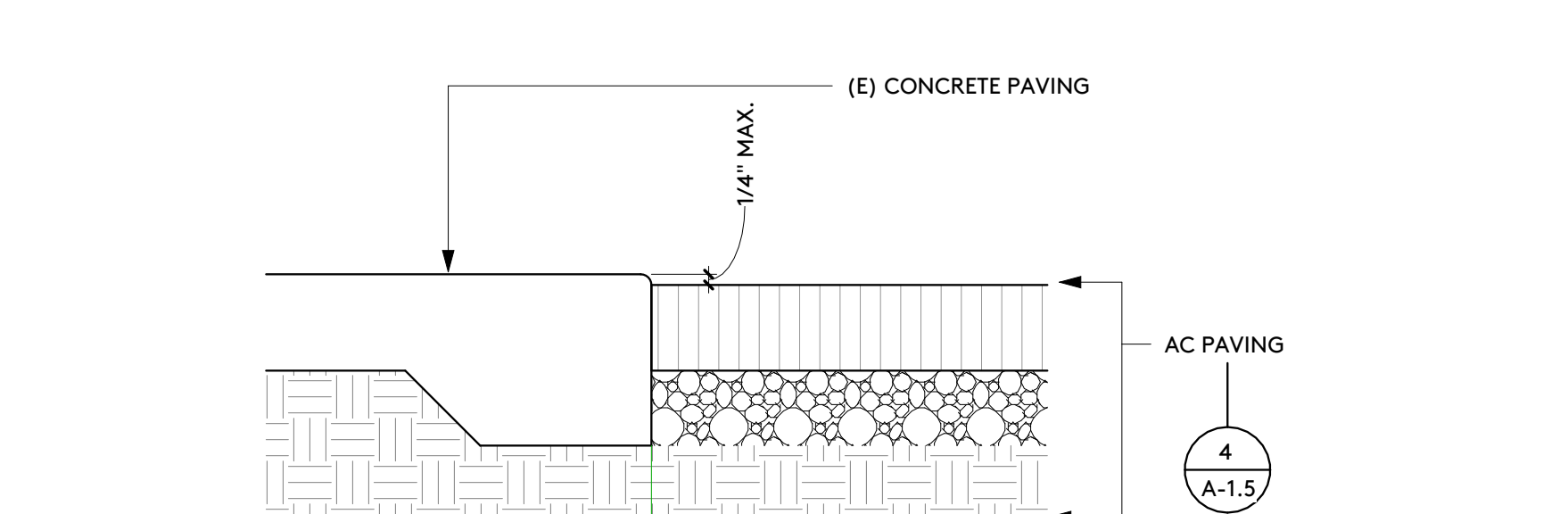
CONCRETE PAVING 7
1 1/2" = 1'-0"



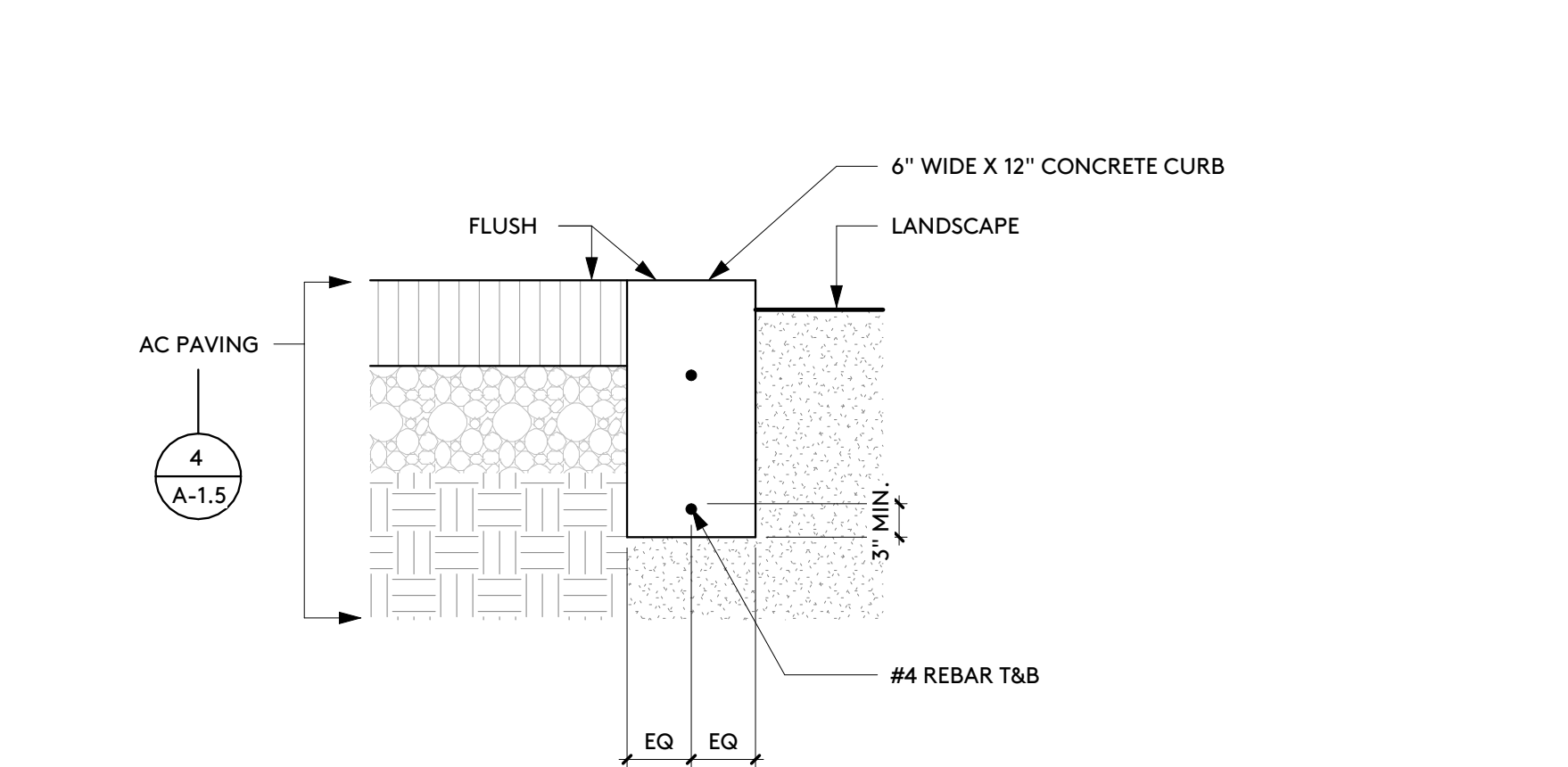
CONCRETE PAVING - CONSTRUCTION JOINT 8
1 1/2" = 1'-0"



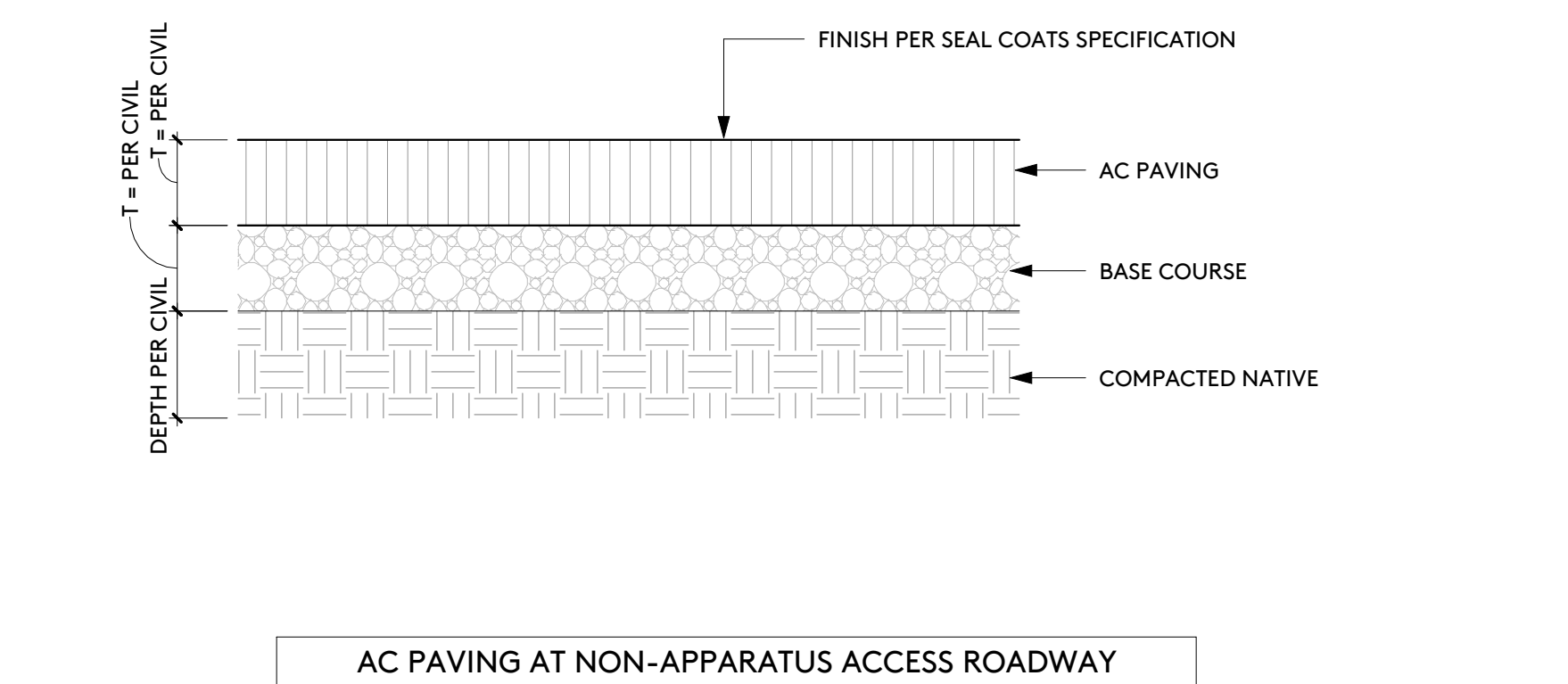
AC PAVING - CONSTRUCTION JOINT 1
1 1/2" = 1'-0"



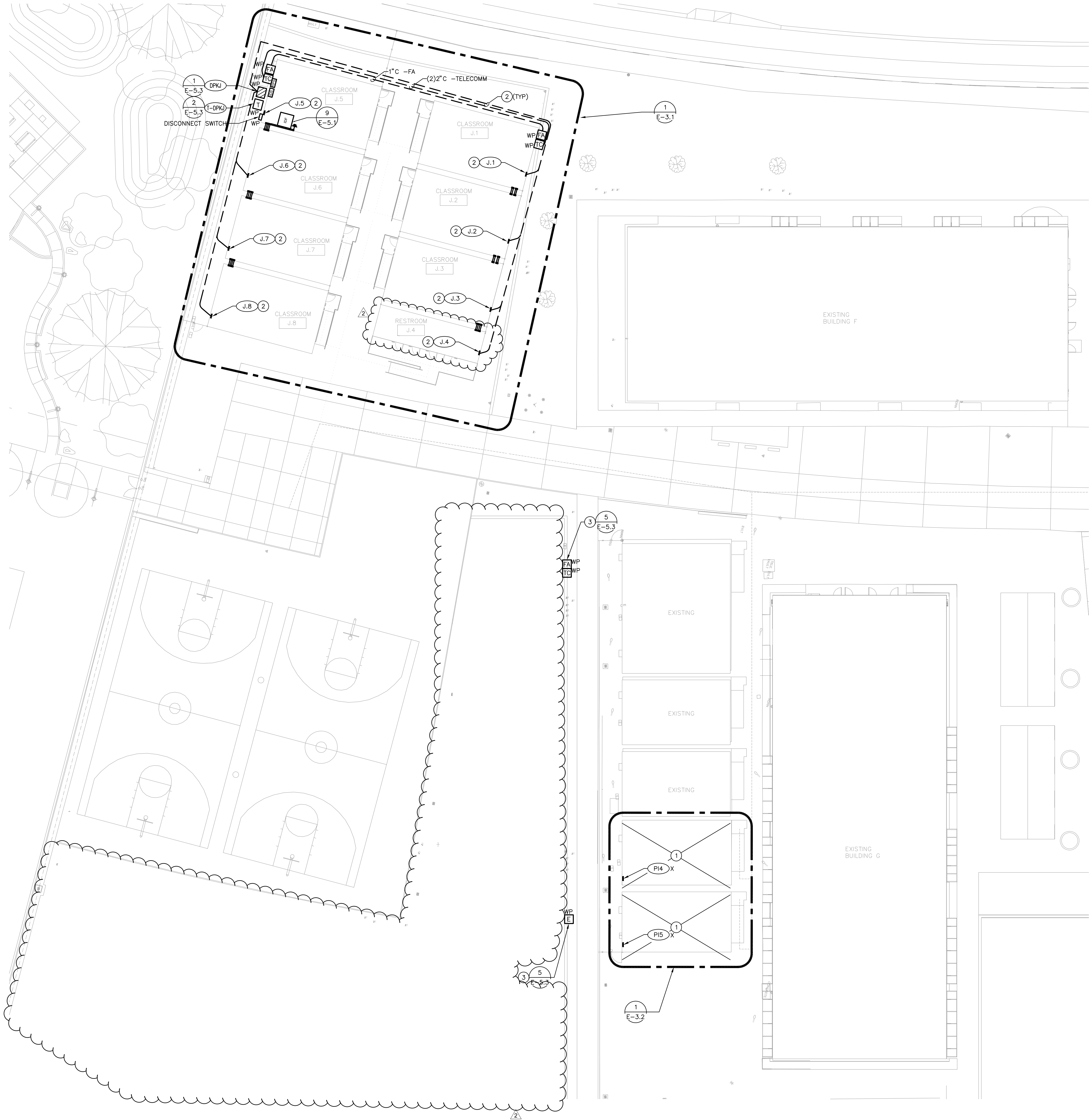
CONSTRUCTION JOINT - CONCRETE/AC 2
1 1/2" = 1'-0"



AC PAVING - CONSTRUCTION JOINT 3
1 1/2" = 1'-0"



AC PAVING 4
1 1/2" = 1'-0"



ELECTRICAL ENLARGED SITE PLAN

1
1/16" = 1'-0"

GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES, IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL DRAWINGS ARE DIAGRAMMATICALLY AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO CAPTURE THE INTENT OF THE DRAWINGS.

KEY NOTES

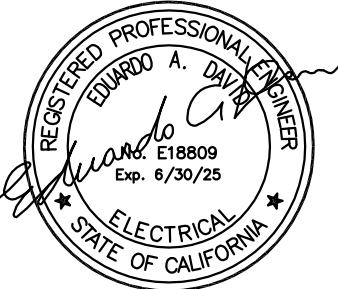
- 1 EXISTING PORTABLE CLASSROOM AT NEW LOCATION, INTERCEPT AND EXTEND EXISTING FEEDERS FOR POWER, DATA NETWORK CABLES, SECURITY INTRUSION AND FIRE ALARM TO MATCH EXISTING CONDITIONS. COORDINATE WITH SCHOOL DISTRICT REPRESENTATIVE AND PORTABLE CLASSROOM INSTALLER PRIOR TO START OF WORK.
- 2 EXISTING ELECTRICAL PANEL. COORDINATE WITH PORTABLE CLASSROOM INSTALLER FOR EXACT PANEL SIZES AND LOCATION. REFER TO SINGLE LINE DIAGRAM FOR ALL NEW FEEDERS. SHEET E4.1.
- 3 UNDERGROUND UTILITIES HANDHOLES FOR FUTURE PORTABLE CLASSROOM. COORDINATE WITH ARCHITECT AND CIVIL FOR EXACT LOCATION PRIOR TO START OF WORK.

ESENCIA K-8 2024
MODULARS
5 APRENDER, RANCHO MISSION VIEJO, CA 92694
CAPISTRANO SCHOOL DISTRICT

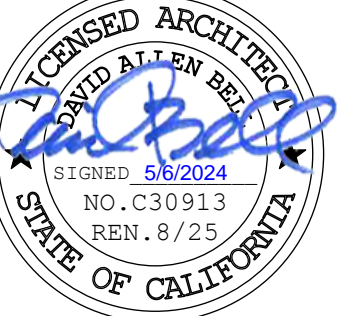
ELECTRICAL ENLARGED
SITE PLAN

F-2.1

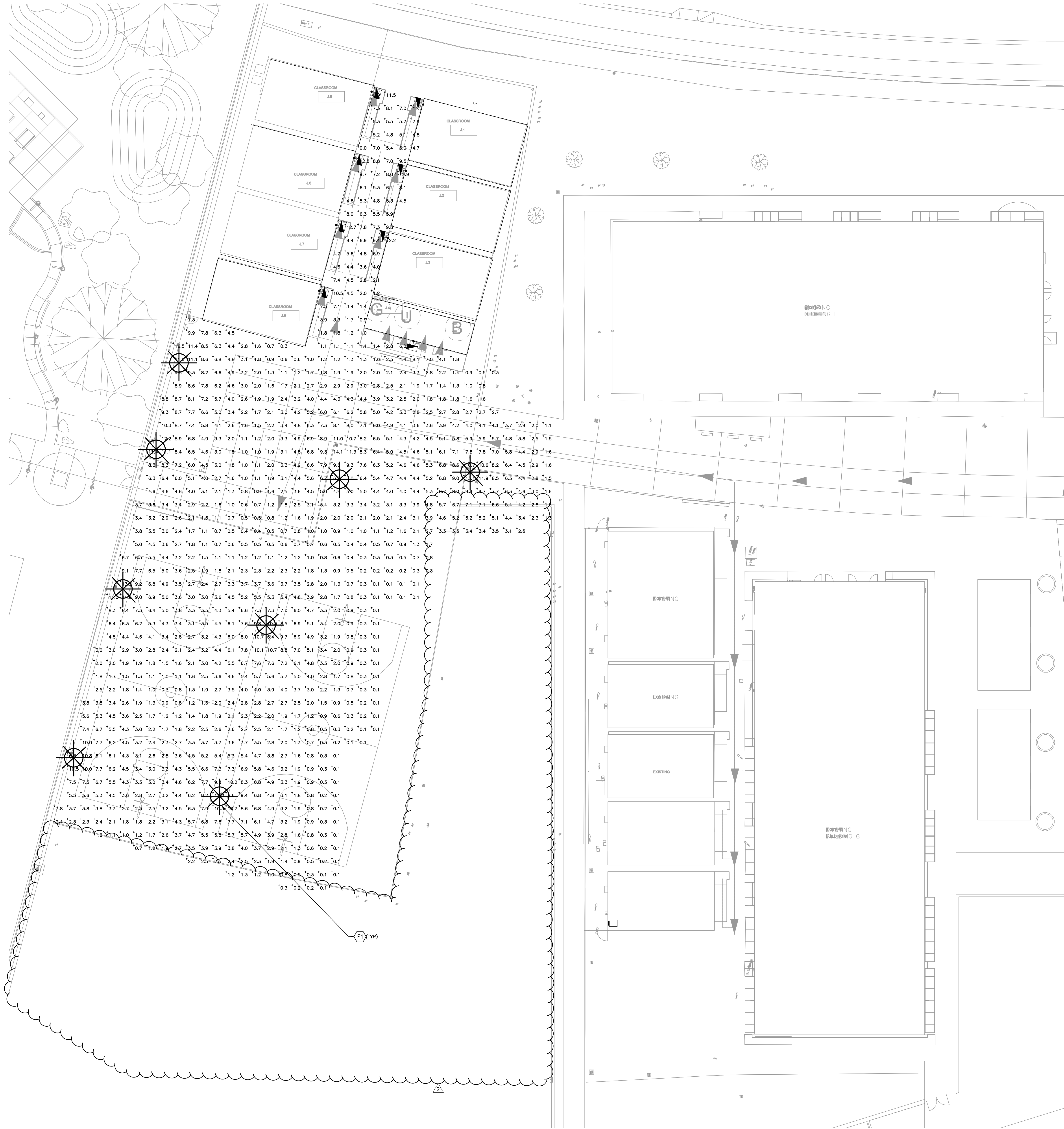
Salas O'Brien
3220 Executive Ridge, Suite 210
Visa, CA 92081
760.560.0100
6/24/24
#202-05386
E-Mail



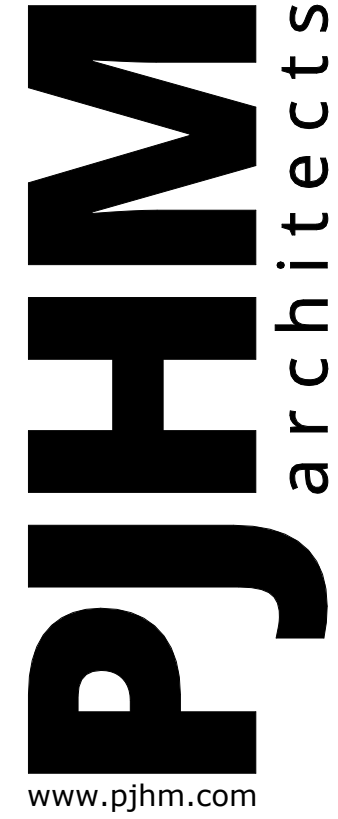
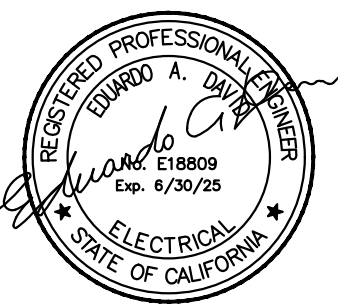
ADDENDUM No.2 5/6/24



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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	3.7 fc	14.1 fc	0.5 fc	N/A	N/A

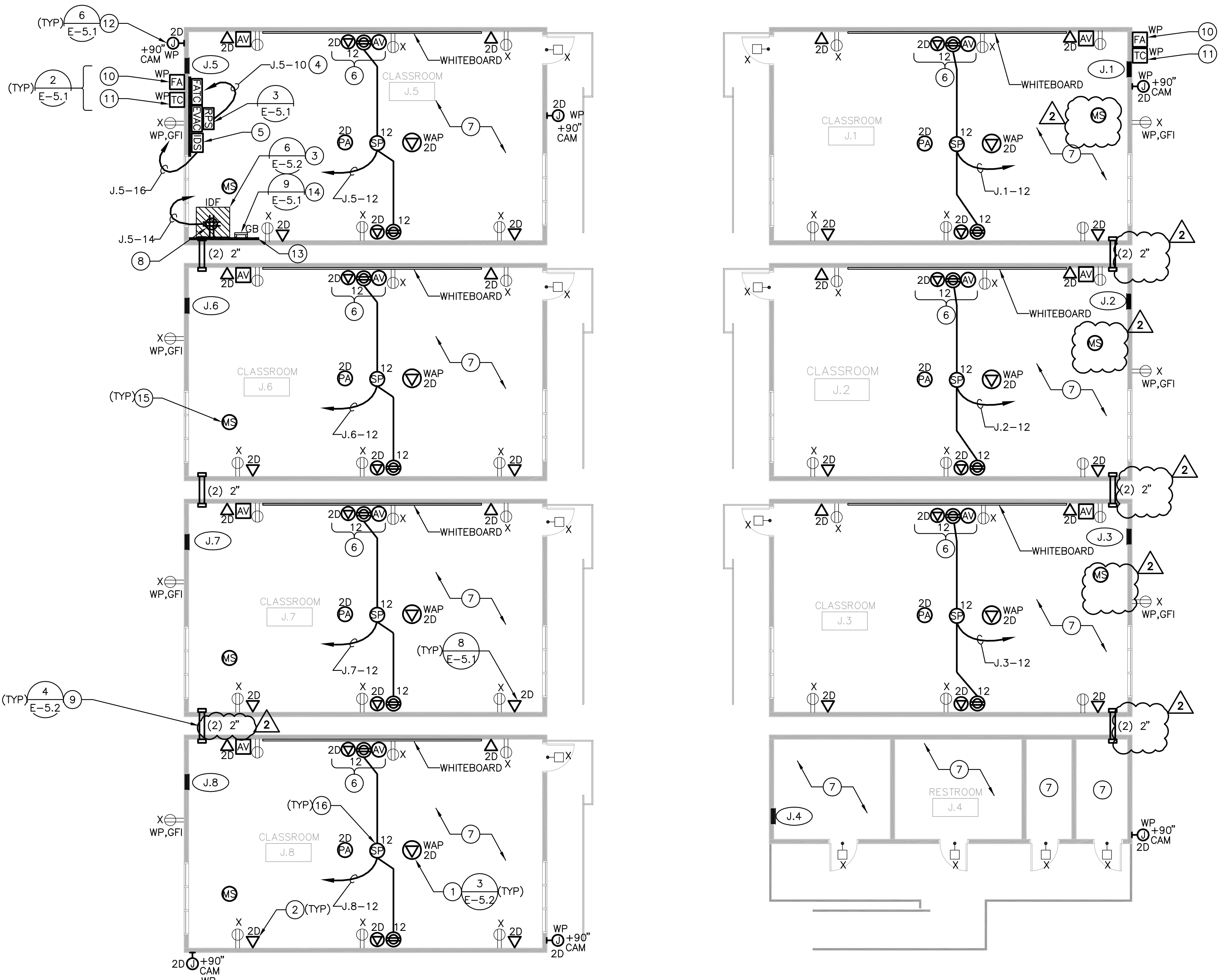


GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL DRAWINGS ARE DIAGRAMMATICALLY AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO CAPTURE THE INTENT OF THE DRAWINGS.
- C. CONTRACTOR TO INTEGRATE ALL HVAC SYSTEMS FOR ALL BUILDINGS ON SITE'S CARRIER IVUE SYSTEM.

KEY NOTES

1. CEILING MOUNTED WIRELESS ACCESS POINT (WAP). PROVIDE 2 DATA DROP WITH CAT 6 CABLE. WAP TO BE PROVIDED AND INSTALLED BY SCHOOL DISTRICT. SEE OVERALL SITE PLAN FOR PORTABLE WITH WIRELESS ACCESS POINT. WIRELESS ACCESS POINT BRACKET TO BE OWNER FURNISHED AND CONTRACTOR INSTALLED.
2. WALL MOUNTED DATA OUTLET. COORDINATE WITH SCHOOL DISTRICT FOR EXACT LOCATION PRIOR TO START OF WORK.
3. WALL MOUNTED DATA RACK (IDF). PROVIDE DEDICATED 120V CIRCUIT. COORDINATE WITH THE SCHOOL DISTRICT PRIOR TO START OF WORK.
4. FIRE ALARM REMOTE POWER SUPPLY WITH VOICE EVAC AMPLIFIER. PROVIDE DEDICATED CIRCUIT WITH LOCK-ON "RED" HANDLE.
5. INTRUSION REMOTE POWER SUPPLY.
6. COORDINATE EXACT MOUNTING HEIGHT WITH THE SCHOOL DISTRICT AND ARCHITECT FOR PROJECTOR AND WHITE BOARD LOCATION. PROJECTORS ARE TO BE OWNER FURNISHED AND CONTRACTOR INSTALLED.
7. EXISTING POWER OUTLETS AND LIGHTING TO REMAIN, UNLESS OTHERWISE NOTED.
8. LOCATE QUAD RECEPTACLE INSIDE THE IDF RACK. COORDINATE WITH DISTRICT IT FOR EXACT LOCATION OF THE IDF RACK PRIOR TO START OF WORK.
9. LIQUID TIGHT FLEXIBLE METALLIC CONDUIT. PROVIDE CONDUIT WITH MINIMUM 4" SAG SEISMIC LATERAL DRIFT SEPARATION BETWEEN PORTABLES PER ASCE 7-16.
10. WEATHERPROOF 18"x18"x4" WALL MOUNTED FIRE ALARM PULLBOX.
11. WEATHERPROOF 24"x24"x6" WALL MOUNTED TELCOMM & PAGING PULLBOX.
12. JUNCTION BOX FOR CCTV CAMERAS. COORDINATE EXACT MOUNTING HEIGHT AND LOCATION WITH SCHOOL REPRESENTATIVE PRIOR TO ROUGH-IN.
13. 3/4" THICK X 4' WIDE X 8'-0" TALL VOID-FREE PLYWOOD PAINTED WITH 2 COATS OF WHITE FIRE-RATED PAINT.
14. TELECOMMUNICATIONS GROUND BUS BAR. CONNECT TO GROUNDING SYSTEM.
15. SURFACE CEILING MOUNTED INTRUSION MOTION DETECTION. SEE RISER DIAGRAM ON SHEET 2/E-4.3.
16. RECESSED CEILING MOUNTED CLASSROOM AV SPEAKER SYSTEM.



ELECTRICAL ENLARGED FLOOR PLAN

1
1/8" = 1'-0"

ESENCIA K-8 2024
MODULARS
5 APRENDER, RANCH VIEJO, CA 92694
CAPISTRANO SCHOOL DISTRICT

ELECTRICAL ENLARGED
FLOOR PLANS

E-3.1

Salas
O'Brien
3220 Executive Ridge, Suite 210
Visa, CA 92081
760.560.0100
650.241.1111
#2023-05386
E-0000
Exp. 6/30/25
ELECTRICAL
STATE OF CALIFORNIA

REGISTERED PROFESSIONAL
ELECTRICAL ENGINEER
NO. 61462
EXPIRATION DATE 6/30/25
STATE OF CALIFORNIA

ADDENDUM No.2 5/6/24

PJHM
architects
www.pjhm.com

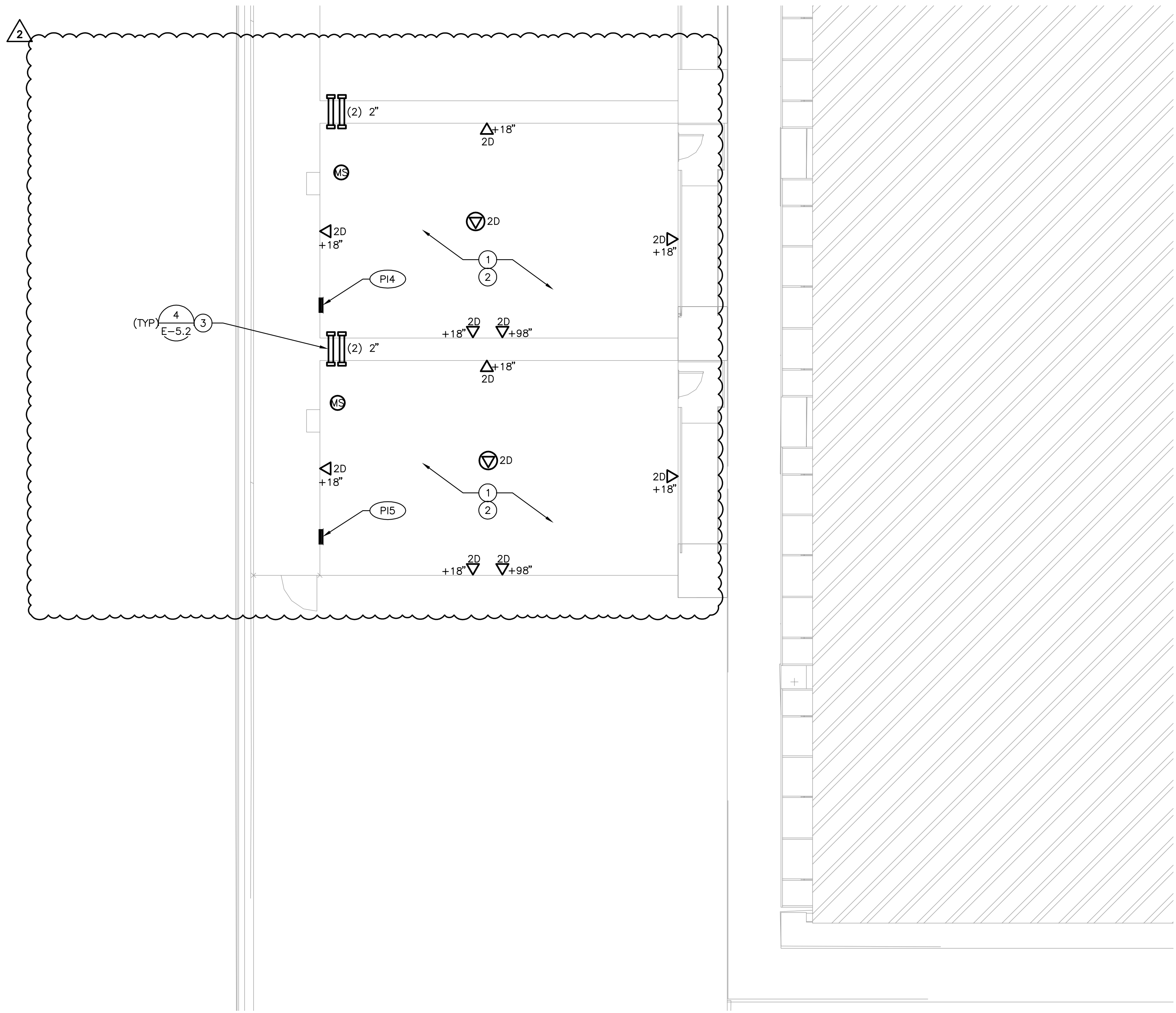
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NO. C30913
DESIGNED 3/20/24
REVISION 8/25
STATE OF CALIFORNIA

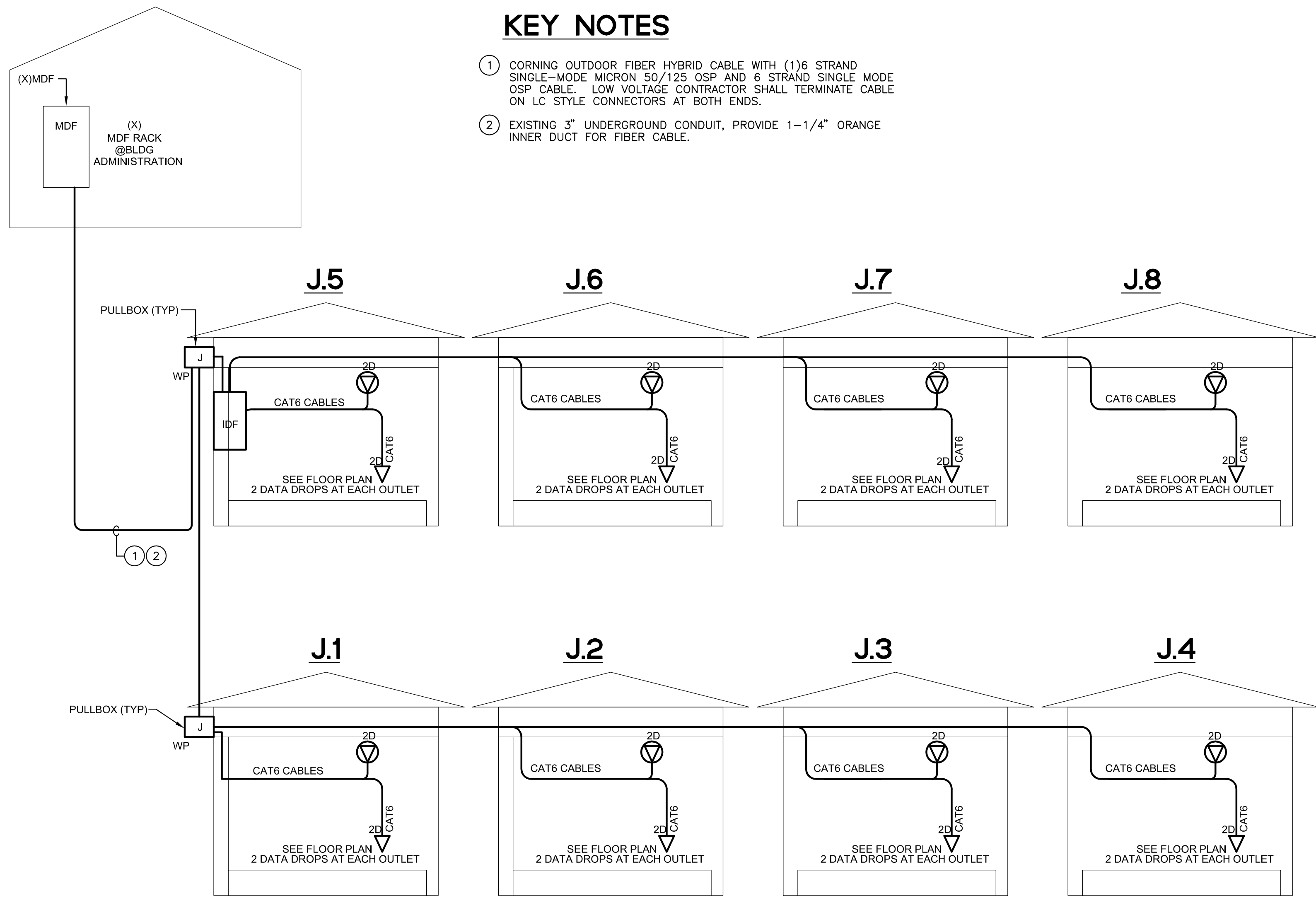
GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL DRAWINGS ARE DIAGRAMMATICALLY AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO CAPTURE THE INTENT OF THE DRAWINGS.
- C. CONTRACTOR TO INTEGRATE ALL HVAC SYSTEMS FOR ALL BUILDINGS ON SITE'S CARRIER VUE SYSTEM.

KEY NOTES

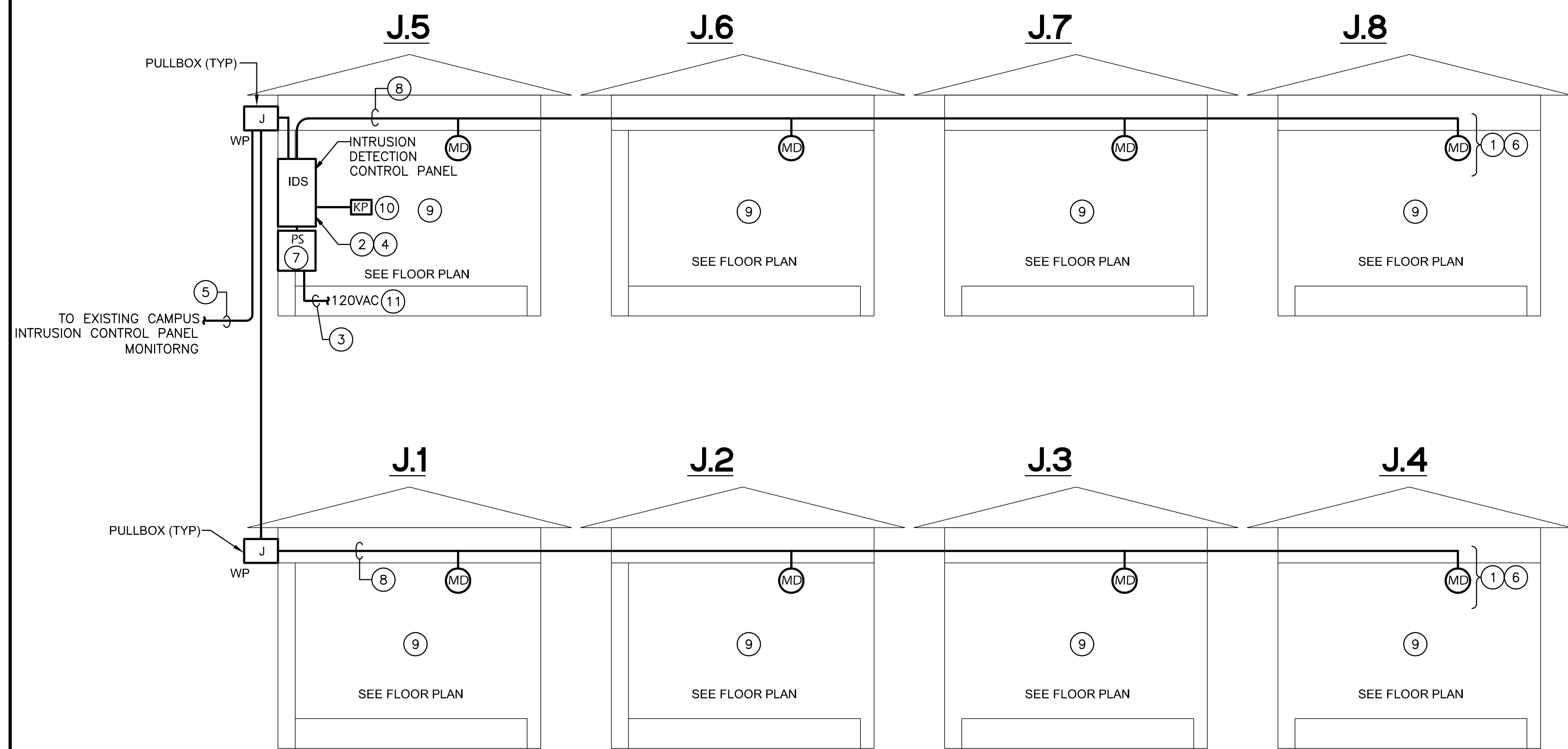
- 1 INTERCEPT AND EXTEND EXISTING FEEDERS TO RECONNECT TO NEW PORTABLE CLASSROOM EXISTING ELECTRICAL PANEL. COORDINATE WITH SCHOOL DISTRICT REPRESENTATIVE AND PORTABLE INSTALLER PRIOR TO START OF WORK.
- 2 RECONNECT ALL EXISTING UTILITIES, NETWORK CABLES, FIRE ALARM CABLES AND SECURITY. COORDINATE WITH SCHOOL DISTRICT REPRESENTATIVE AND PORTABLE INSTALLER PRIOR TO START OF WORK.
- 3 LIQUID TIGHT FLEXIBLE METALLIC CONDUITS. PROVIDE CONDUITS WITH MINIMUM 4" SAG SEISMIC LATERAL DRIFT SEPARATION BETWEEN PORTABLES PER ASCE 7-16.





NETWORK DATA RISER DIAGRAM

1
NOT TO SCALE

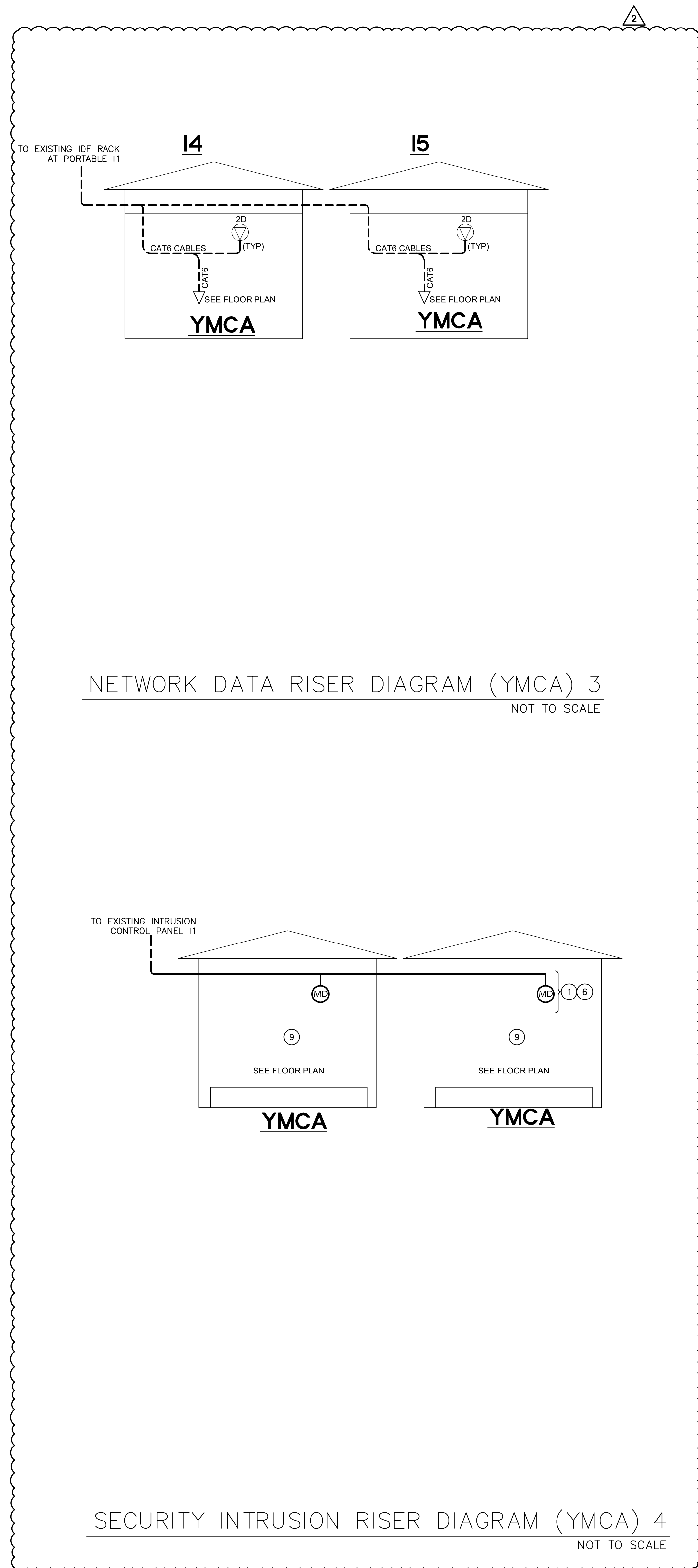


SECURITY INTRUSION RISER DIAGRAM

2
NOT TO SCALE

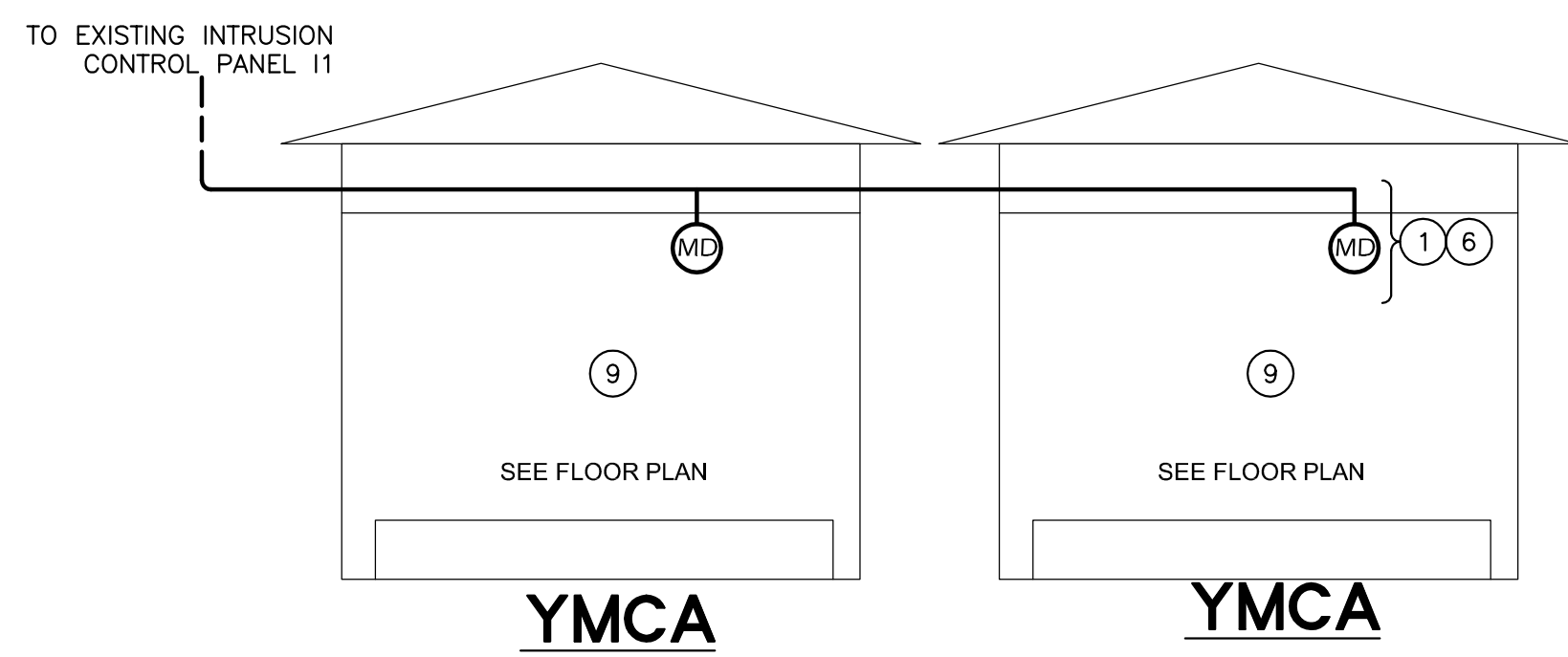
KEY NOTES

1. PROVIDE DUAL TECHNOLOGY MOTION DETECTORS PER THE CONTRACT SPECIFICATIONS. VERIFY QUANTITY AND LOCATION OF ALL INTRUSION DEVICES ON FLOOR PLANS.
2. PROVIDE BATTERY BACK-UP EQUIPMENT FOR INTRUSION DETECTION PANEL TO SUPPORT A PERIOD OF 4 HOURS.
3. PROVIDE AND INSTALL 120 VAC/20 AMP POWER CIRCUIT.
4. SECURITY CONTRACTOR IS RESPONSIBLE FOR PROGRAMMING AND SET-UP OF INTRUSION DETECTION SYSTEM WITH EXISTING AND 3RD PARTY CENTRAL STATION MONITORING.
5. SECURITY CONTRACTOR TO COORDINATE WITH OWNER FOR PROVIDING AND INSTALLING STANDARD VOICE GRADE PHONE LINE AND PHONE JACK ALARM CONTROL PANEL LOCATION.
6. ALL ZONES SHALL BE HARDWIRED TO ALARM CONTROL PANEL.
7. POWER SUPPLY WITH EMERGENCY BACKUP BATTERY.
8. ALL ZONES SHALL BE CONNECTED TO POLING LOOP ORIGINATING FROM THE ALARM CONTROL PANEL.
9. PROVIDE AND INSTALL ALL LOW VOLTAGE CABLE.
10. COORDINATE WITH THE DISTRICT FOR EXACT LOCATION.
11. SEE PANEL SCHEDULE FOR CIRCUIT BREAKER NUMBER.



NETWORK DATA RISER DIAGRAM (YMCA) 3

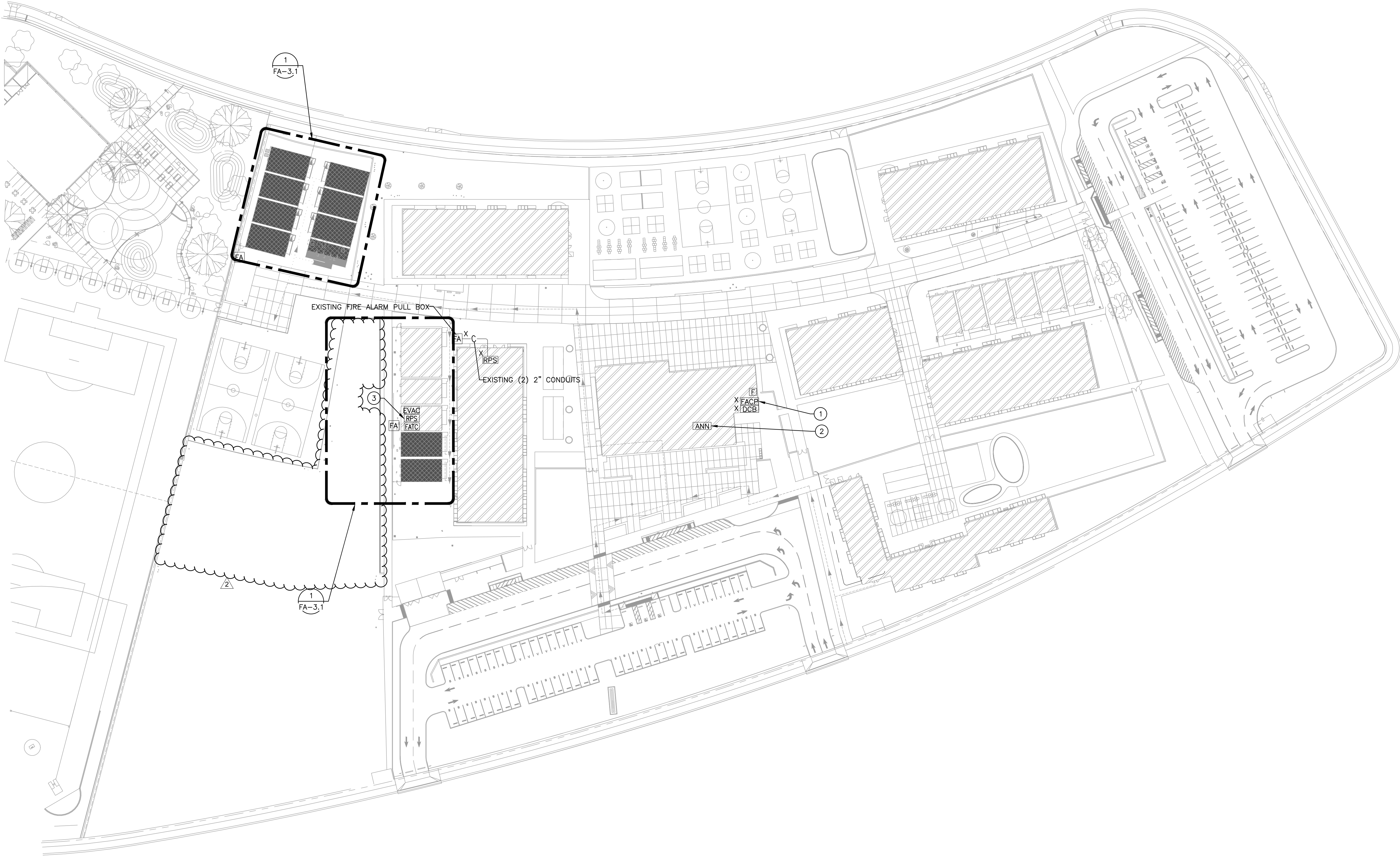
NOT TO SCALE



SECURITY INTRUSION RISER DIAGRAM (YMCA) 4

NOT TO SCALE

11/14/2023 7:24:57 AM



FIRE ALARM OVERALL SITE PLAN

1
1" = 50'-0"

GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL DRAWINGS ARE DIAGRAMMATICALLY AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO CAPTURE THE INTENT OF THE DRAWINGS.

KEY NOTES

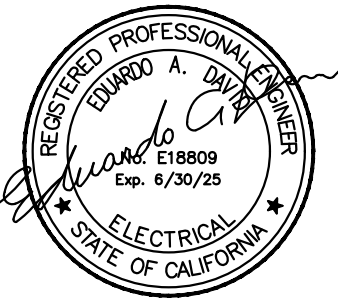
- 1 EXISTING MAIN FIRE ALARM CONTROLLER WITH VOICE EVAC AND DOCUMENT STORAGE CABINET TO REMAIN. A#04-115197
- 2 EXISTING FIRE ALARM REMOTE ANNUNCIATOR WITH REMOTE MIC. A#04-115197
- 3 EXISTING FIRE ALARM REMOTE EXPANSION POWER SUPPLY. A#02-115700.

ESENCIA K-8 2024
MODULARS
5 APRENDER, RANCHO MISSION VIEJO, CA 92694
CAPISTRANO SCHOOL DISTRICT

FIRE ALARM OVERALL SITE
PLAN

FA-1.1

Salas
O'Brien
3220 Executive Ridge, Suite 210
Visa, CA 92081
760.660.0100
6/22/24
#2022-05386
E-Mail



ADDENDUM No.2 5/6/24



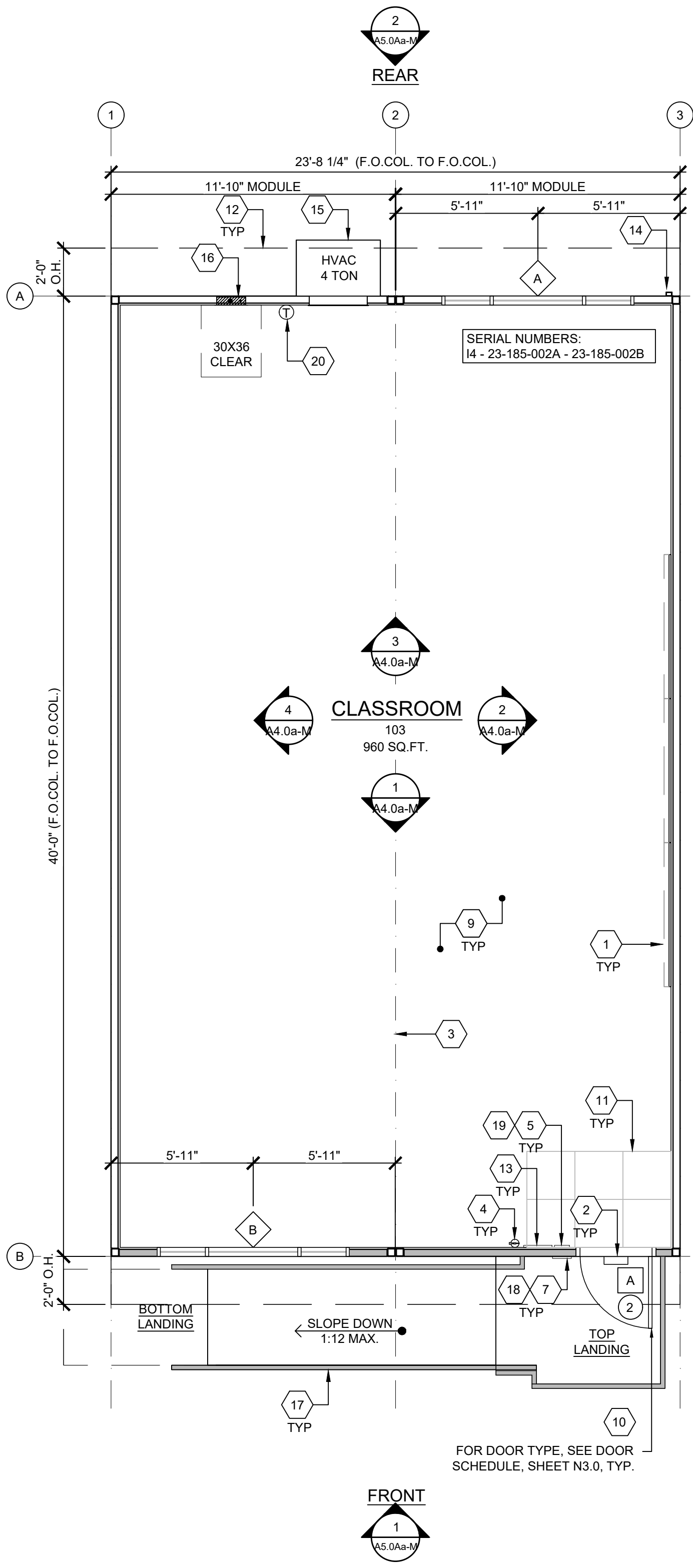
PJHM
architects
www.pjhm.com



1

2

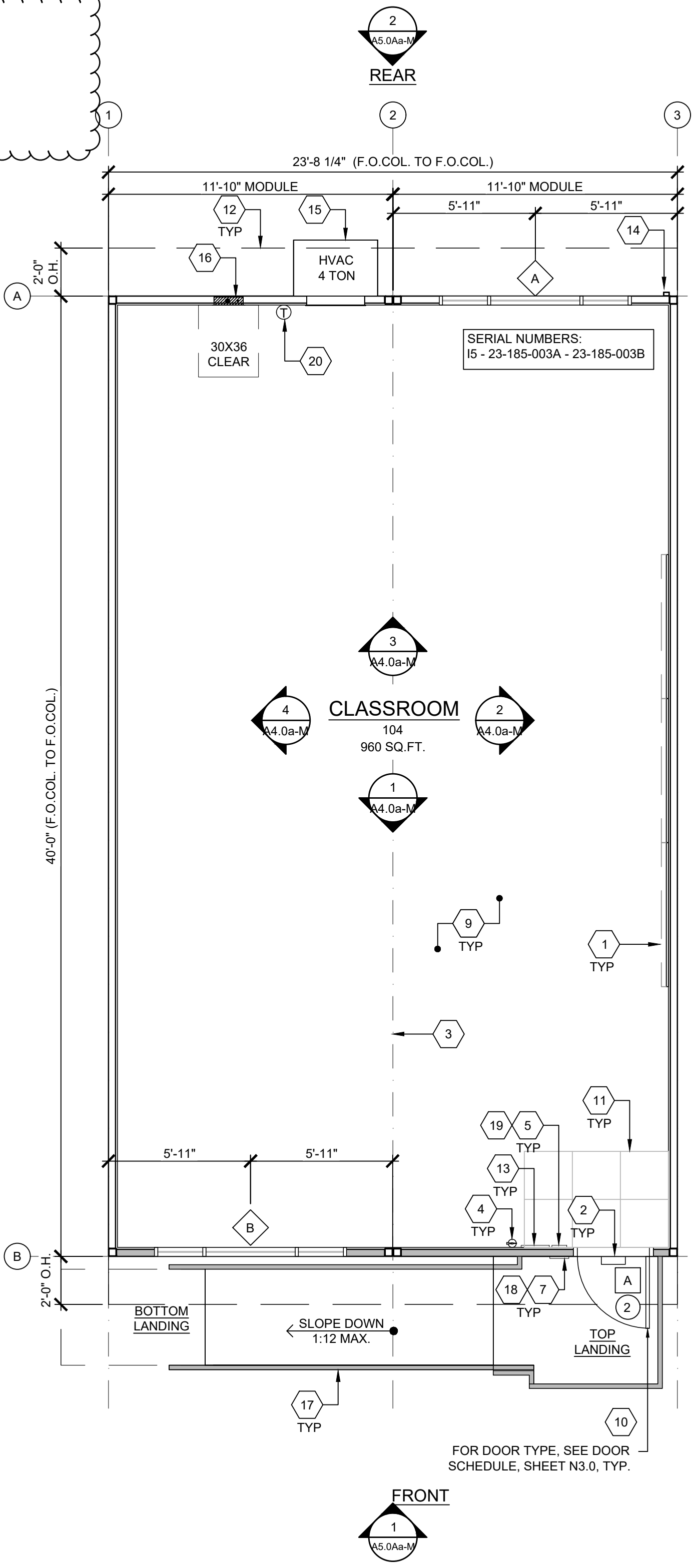
2 ADDENDUM No.2 5/6/24



BUILDING SIZE SCHEDULE			
BUILDING SIZE (FT)	TOTAL # OF 12'-0\"/>	TOTAL # OF CENTER MODULES	TOTAL FNDN WIDTH
<input checked="" type="checkbox"/> 24'x40'	2	0	23'-8 1/2"
<input type="checkbox"/> 36'x40'	3	1	35'-6 3/4"
<input type="checkbox"/> 48'x40'	4	2	47'-5"

NOTES:

1. TOTAL BUILDING WIDTH INCLUDES 1/4\"/>



- (3) 4'x6' MARKER BOARDS - SEE SHEET A4.0
- EXTERIOR LIGHT - SEE ELECTRICAL SHEETS
- TYP. MOD LINE
- FIRE EXTINGUISHER - TOP OF HANDLE @ +48\"/>
- TACTILE EXIT SIGN PER DETAIL 10/N4.0 - "EXIT RAMP DOWN" SIGN WHEN RAMP IS BEING USED (BY OTHERS)
- NOT USED
- ROOM SIGNAGE AND I.S.A. PER DETAILS 5/8/N4.0 (BY OTHERS)
- NOT USED
- CARPET
- EGRESS DOOR
- NON-ABSORBENT FLOOR AREA (2'-0\"/>
- OVERHANG
- OCCUPANT LOAD SIGN PER DETAIL 11/N4.0 (BY OTHERS)
- DOWNSPOUT - DISCHARGE TO SPLASH BLOCK (U.O.N.) (QUANTITY AND LOCATION MAY VARY)
- HVAC - SEE NOTES ON MECHANICAL AND EXTERIOR ELEVATION SHEETS
- ELECTRICAL PANEL (LOCATION MAY VARY)
- TYPICAL RAMP REFER TO DETAIL 16/-
- FLOOR LIVE LOAD SIGN PER 2022 CBC SECTION 106.1 PROVIDED BY OTHERS. (FLOOR LIVE LOAD SIGN IS REQUIRED ONLY FOR COMMERCIAL OR INSTITUTIONAL BUILDINGS DESIGNED WITH LIVE LOADS EXCEEDING 50 PSF)
- ASSISTIVE LISTENING (AL) SIGN POSTED IN PROMINENT PLACE AT OR NEAR THE ENTRANCE PER 17/N4.0.
- THERMOSTAT - TOP @ 46\"/>

KEY NOTES

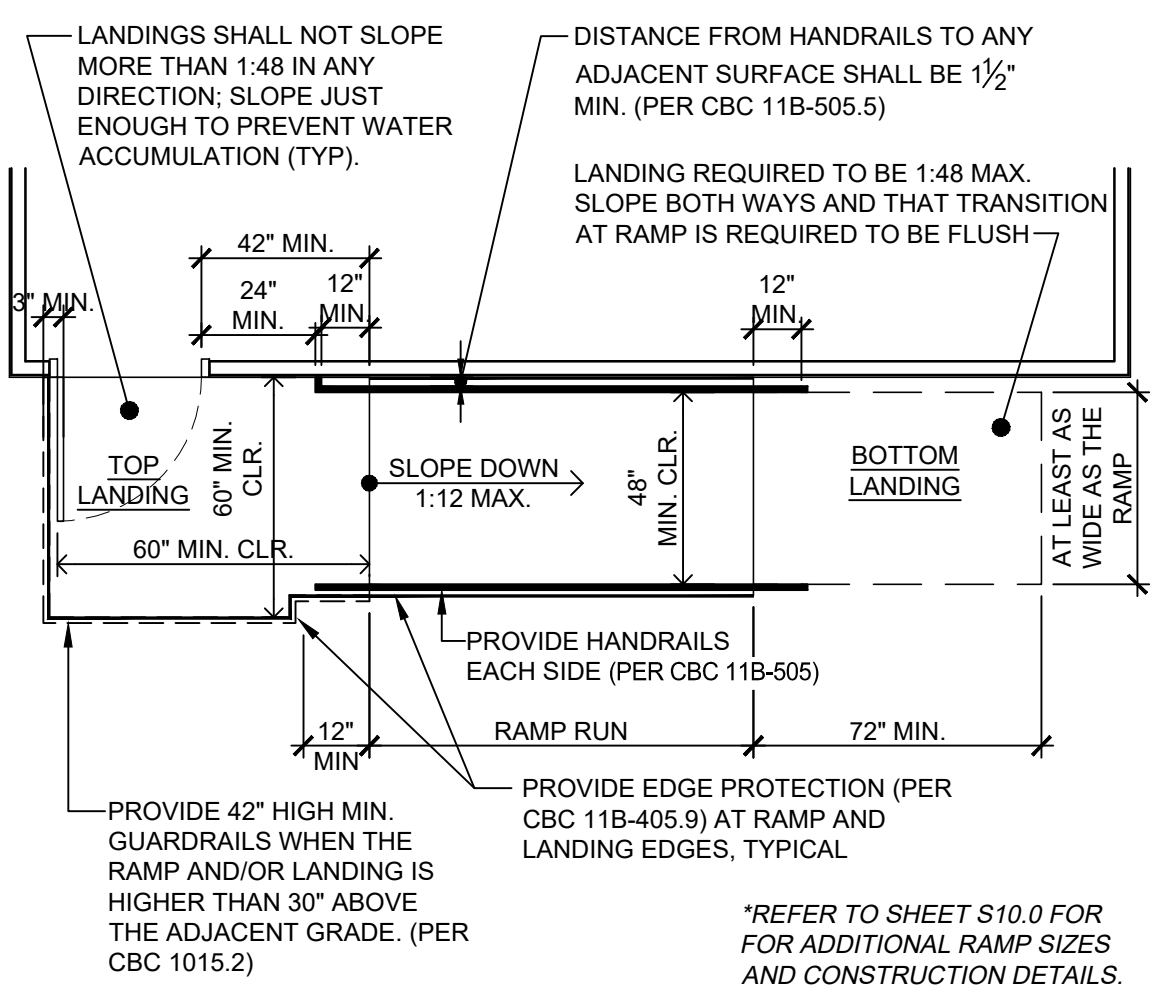
- REFER TO SHEETS N5.0 FOR POSSIBLE ADDITIONAL FLOOR PLAN CONFIGURATIONS.
- OPTIONAL INTERIOR WALLS MAY OCCUR THROUGHOUT THE BUILDING AS CONSTRUCTED PER SHEET S9.1. THE PG-TITLE 24 HAS BEEN RUN FOR THE WORST CASE ENVELOPE BASED ON AREA.
- PANIC HARDWARE COMPLYING WITH C.B.C. 1010.2.9 IS REQUIRED TO BE INSTALLED WHEN THE CONFIGURATION OF ANY ROOM PROVIDES AN OCCUPANT LOAD OF 50 OR GREATER.
- IF OCCUPANCY LOAD EXCEEDS 50, PROVIDE A SECOND EXIT DOOR, PER CBC TABLE 1006.2.1.
- FOR ROOMS OR SPACES CLASSIFIED AS AN ASSEMBLY OCCUPANCY, PROVIDE AN OCCUPANT LOAD SIGN (BY OTHERS) IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT, PER C.B.C. SECTION 1004.9.
- ALL PRIMARY EXTERIOR DOOR ENTRIES SHALL BE COVERED TO PREVENT WATER INTRUSION BY USING NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO OPENING, PER CALGREEN, SECTION 5.407.2.2.1.
- PRIMARY EXTERIOR DOOR ENTRIES SHALL HAVE AT LEAST ONE OF THE FOLLOWING:
 - INSTALLED AWNING AT LEAST 4 FEET IN DEPTH (BY OTHERS).
 - ROOF OVERHANG AT LEAST 4 FEET IN DEPTH.
 - DOOR RECESSED AT LEAST 4 FEET.
 - OTHER METHODS WHICH PROVIDE EQUIVALENT PROTECTION (BY OTHERS).
- WINDOW PLACEMENT & SIZE MAY VARY AS THE PG-TITLE 24 HAS BEEN RUN FOR THE WORST CASE ENVELOPE PROVIDED THAT THE MAXIMUM WINDOW AREA IS 240 SQ. FT. FOR A DOUBLE-WIDE ROOM AND 160 SQ. FT. FOR A TRIPLE-WIDE ROOM. JUSTIFICATION OF LARGER AREAS MAY BE BASED ON RATIO AND INTERPOLATION.
- IF FIRE RATED WALLS ARE REQUIRED DUE TO SITE SPECIFIC REQUIREMENTS, REFER TO DETAILS IN SHEET A8.0 FOR 1-HR RATED DETAILS

SITE NOTE
3/16:12 (1%) MINIMUM TO 1/4:12 (2%) MAXIMUM GRADE FROM FACE OF BUILDING MUST BE ADHERED TO FOR WATER RUN-OFF. PONDING MAY OCCUR AROUND THE PERIMETER OF THE BUILDING.

SHEET NOTES

- (X) = KEY NOTE - SEE KEY NOTES ABOVE
(X) = DOOR TYPE - SEE SCHEDULE, SHEET N3.0
(X) = DOOR HARDWARE - SEE HARDWARE SCHEDULE, SHEET N3.0
(X) = WINDOW TYPE - SEE SCHEDULE, SHEET N3.0

TYPICAL FLOOR PLAN - BUILDING '14' (TOTAL OF 1 BUILDING) SCALE: 1/4" = 1'-0"



C BUILDING SIZE SCHEDULE SCALE: 1/4" = 1'-0"

(NO HATCH) 2X4 WALLS
2X4 1-HR FIRE RATED WALLS - SEE SHEET A8.0

WALL LEGEND

(X) = KEY NOTE - SEE KEY NOTES ABOVE
(X) = DOOR TYPE - SEE SCHEDULE, SHEET N3.0
(X) = DOOR HARDWARE - SEE HARDWARE SCHEDULE, SHEET N3.0
(X) = WINDOW TYPE - SEE SCHEDULE, SHEET N3.0

ENERGY NOTES

- ENERGY CONTROLS**
- DEMAND RESPONSE CONTROLS:**
ONLY REQUIRED IN BUILDINGS LARGER THAN 10,000 S.F., THEREFORE, NOT REQUIRED FOR THIS PC.
 - AUTOMATIC DAYLIGHTING CONTROLS:**
NOT REQUIRED IN ROOMS WHERE COMBINED INSTALLED LIGHTING POWER IN COMBINED SKYLIT & PRIMARY DAYLIT ZONES ARE <120 WATTS. INSTALLED WATTAGE IN PRIMARY SIDELIT DAY LIT ZONE IS 90 WATTS (2x 45w, AS SHOWN ON SHEET E1.0). THEREFORE, AUTOMATIC DAYLIGHTING CONTROLS ARE NOT REQUIRED.
 - ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) CONNECTION:**
PER TITLE 24 CODE, "AN EMCS MAY BE INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ONE OR MORE LIGHTING CONTROLS IF IT MEETS THE MINIMUM REQUIREMENTS". PC MAY CONTAIN OCCUPANCY SENSORS AND PHOTOCELL CONTROL LIGHTING. IN THAT CASE, AN EMCS IS NOT REQUIRED FOR THIS PC.
 - SOLAR-READY ZONE REQUIREMENTS:**
REQUIREMENTS & TABLE CAN BE FOUND ON SHEET A2.0
- NOTE:**
ANY MONITORING EQUIPMENT OR ASSOCIATED SENSORS ARE SITE SPECIFIC AND ARE NOT INCLUDED IN THE BASE PC.

D TYPICAL FLOOR PLAN - BUILDING '15' (TOTAL OF 1 BUILDING) SCALE: 1/4" = 1'-0"

ACOUSTIC CONTROLS

- WHEN THE PRE-CHECK (PC) BUILDING IS SITE ADAPTED, THE BUILDING AND SITE FEATURES SHALL COMPLY WITH THE CALGREEN CODE, SECTION 5.507.4, FOR THE SPECIFIC SITE LOCATION.
- MINIMUM WALL ASSEMBLIES:**
WALL ASSEMBLIES SHALL BE CONSTRUCTED PER DETAIL SHEETS A5.1, A5.3, & A8.0, WITH EITHER 2x4 WOOD STUDS.
MINIMUM STC RATINGS LISTED BELOW ARE PER THE CATALOG OF STC & IIC RATINGS FOR WALL AND FLOOR/CEILING ASSEMBLIES, PRODUCED BY THE OFFICE OF NOISE CONTROL, CA DEPARTMENT OF HEALTH SERVICES.

(1) LAYER 1/2\"/>

SYMBOLS LEGEND

- IN THE EVENT THAT A PC CLASSROOM IS DESIGNED TO CONNECT TO ANOTHER PC CLASSROOM OR RESTROOM, INTERIOR SOUND TRANSMISSION IN THE INTERIOR ADJOINING WALL AND FLOOR/CEILING SHALL MEET THE MINIMUM REQUIREMENT OF A STC OF 40, PER CALGREEN CODE SECTION 507.4.3. (EXAMPLES OF QUALIFYING ASSEMBLIES SHOWN BELOW).
- MINIMUM WINDOW & DOOR RATINGS:
ALL WINDOWS AND DOORS SPECIFIED ON THE SCHEDULES FOUND ON SHEET N3.0 OF THIS PACKAGE SHALL MEET A MINIMUM STC RATING OF 27.

AMS
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PRE-CHECKED SET NAME
24' x 40'
(LOW SEISMIC)
2GO
SITE SPECIFIC PROJECT NAME
CAPISTRANO USD
ESENCIA ES
(7) 24' x 40' BUILDINGS

MANUFACTURER PROFESSIONAL OF RECORD

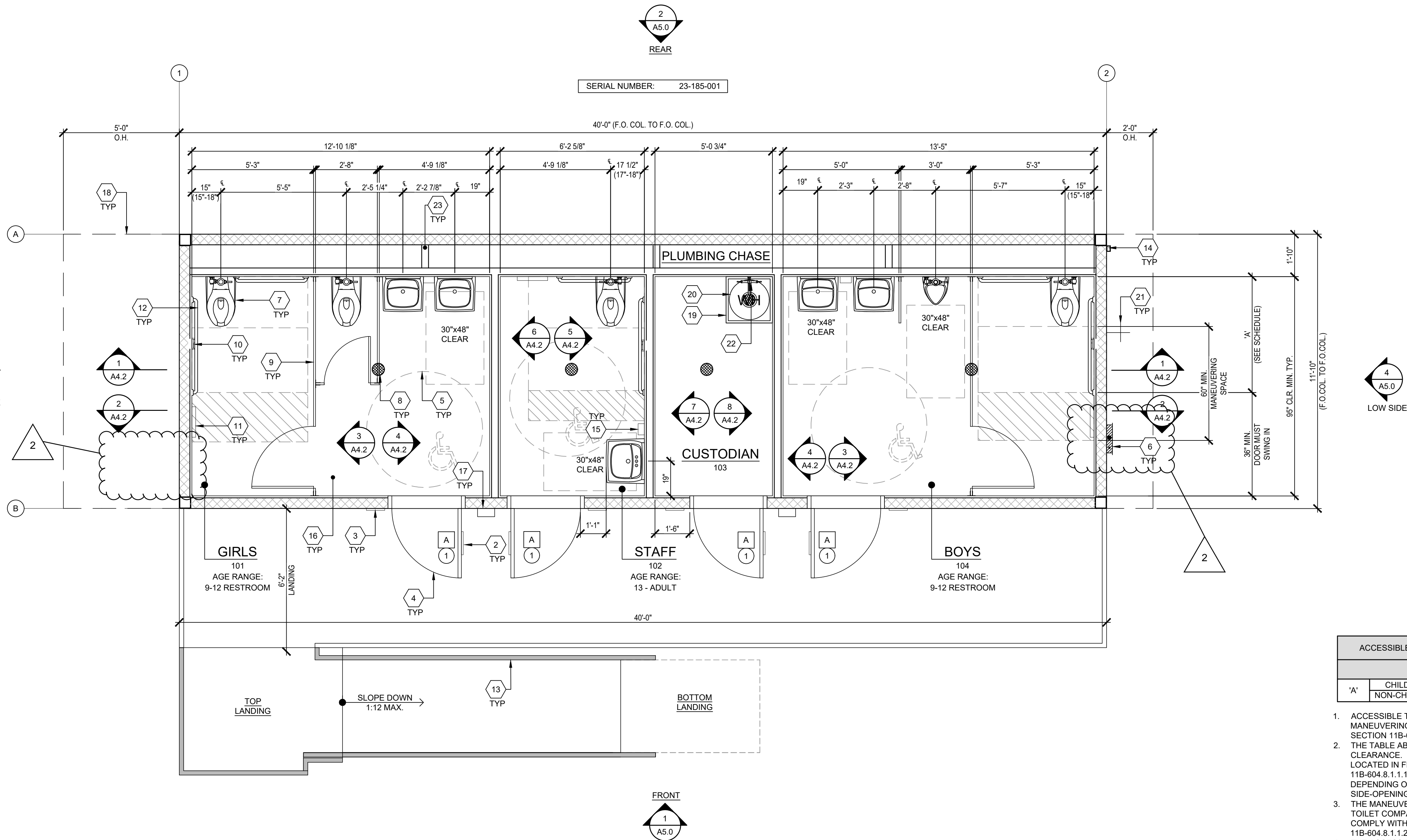
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REVISIONS

ADDENDUM NO. 2	05/05/2024
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DRAWN BY: AA
SCALE: AS NOTED
DATE: 04/25/24
PROJECT NO: 1827-23
SHEET TITLE:
TYPICAL FLOOR PLAN
SHEET NUMBER:

A1.0Aa-M



ACCESSIBLE CLEARANCE FOR WATER CLOSETS			
'A'		WALL MOUNTED	FLOOR MOUNTED
	CHILDREN NON-CHILDREN	59" MIN. 56" MIN.	59" MIN. 59" MIN.

- ACCESSIBLE TOILET COMPARTMENT'S SHALL HAVE A MANEUVERING SPACE COMPLYING WITH 2022 CBC SECTION 11B-604.8.1.1.
- THE TABLE ABOVE IS A LIST OF REQ'D WATER CLOSET CLEARANCE. THE W.C. MANEUVERING SPACE IS LOCATED IN FRONT OF THE W.C. AND IS DESCRIBED IN 11B-604.8.1.1.1, 11B-604.8.1.1.2 AND 11B-604.8.1.1.3 DEPENDING ON IF THE DOOR IS END-OPENING OR SIDE-OPENING AND DIRECTION OF SWING.
- THE MANEUVERING CLEARANCE FOR ALL ACCESSIBLE TOILET COMPARTMENTS SHOWN IN THESE PLANS SHALL COMPLY WITH 11B-604.8.1.1.1 (IN-SWINGING) & 11B-604.8.1.1.2 (SIDE-OPENING)
- THE ACCESSIBLE COMPARTMENT DOOR IS NOT PERMITTED TO SWING OVER CLEARANCE SCHEDULED 'A'

RESTROOM FLOOR PLAN - GIRLS/STAFF/STAFF/BOYS (TOTAL OF 2 BUILDINGS)

SCALE : 3/8"=1'-0"

1

- RESTROOM CONFIGURATION MAY VARY.
- RESTROOM MODULE OCCURS AT END OF BUILDING WHEN COMBINED WITH OTHER MODULES. SINGLE RESTROOMS MAY OCCUR IN ANY PART OF A BUILDING.
- NOT USED.
- INTERIOR WALLS MAY OCCUR THROUGHOUT BUILDING. REFER TO SHEET S8.1 FOR ATTACHMENTS.
- REFER TO SCHEDULE 10/P2.0 FOR ACCESSIBLE HEIGHTS AND DIMENSIONS. AGE 13-ADULT IS SHOWN
- REFER TO DETAILS 1, 3, 4 & 5, SHEET A7.1 FOR TOILET PARTITION ANCHORAGE BLOCKING.
- PROVIDE FIRE BLOCKING PER DETAIL 5, SHEET M1.5.
- SEWER AND WATER STUB OUTS SHALL BE LOCATED WITHIN THE ALLOWABLE AREA AS SHOWN ON PLANS AND CONNECTIONS SHALL BE EASILY ACCESSIBLE FOR FUTURE RELOCATION. STUB OUT HEIGHT SHALL BE COORDINATED BY THE MANUFACTURER.
- PIPING MATERIAL:
 - A. WATER: COPPER TYPE "L", 95/5 SOLDER.
 - B. WASTE DRAIN AND VENT: ABS.
- TOILET COMPARTMENT DOORS LOCATED IN THE FRONT PARTITION SHALL BE 4" MAXIMUM FROM THE SIDE WALL OR PARTITION FARTHEST FROM THE WATER CLOSET, PER C.B.C. SECTION 11B-604.8.1.2.
- ALL RESTROOM AND SINK ACCESSORIES NOT SHOWN HERE MUST BE COORDINATED BY THE PROJECT AOR/DISTRICT BEFORE SUBMITTING SITE-SPECIFIC PLANS TO DSA FOR REVIEW.

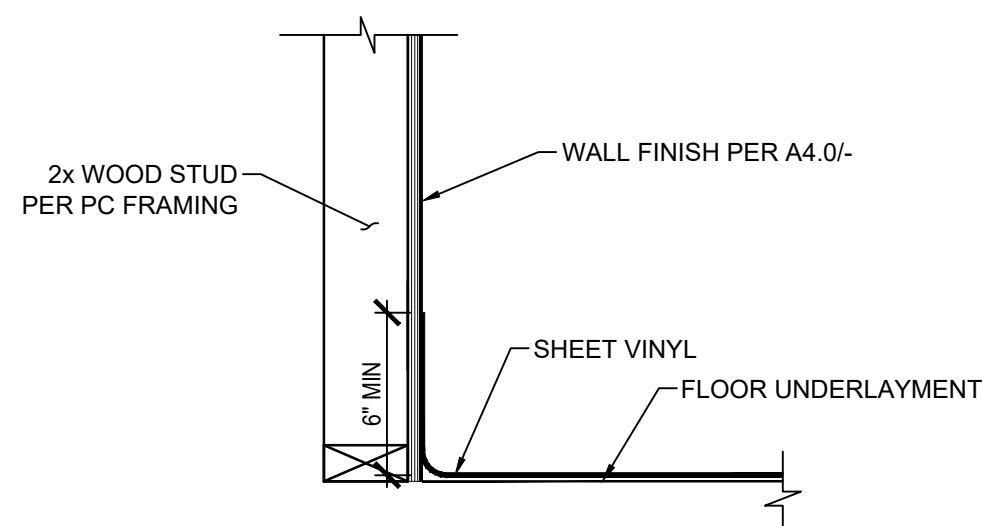
PLUMBING NOTE

MODULAR MFR. TO STUB THROUGH FLOOR ALL PLUMBING LINES - BUILDING PERIMETER POC'S SHOWN ARE FOR COORDINATION PURPOSES ONLY - ALL UNDER-FLOOR CONNECTIONS ARE BY SITE CONTRACTOR UON.

SITE NOTE

3/16:12 (1%) MINIMUM TO 1/4:12 (2%) MAXIMUM GRADE FROM FACE OF BUILDING MUST BE ADHERED TO FOR WATER RUN-OFF. PONDING MAY OCCUR AROUND THE PERIMETER OF THE BUILDING.

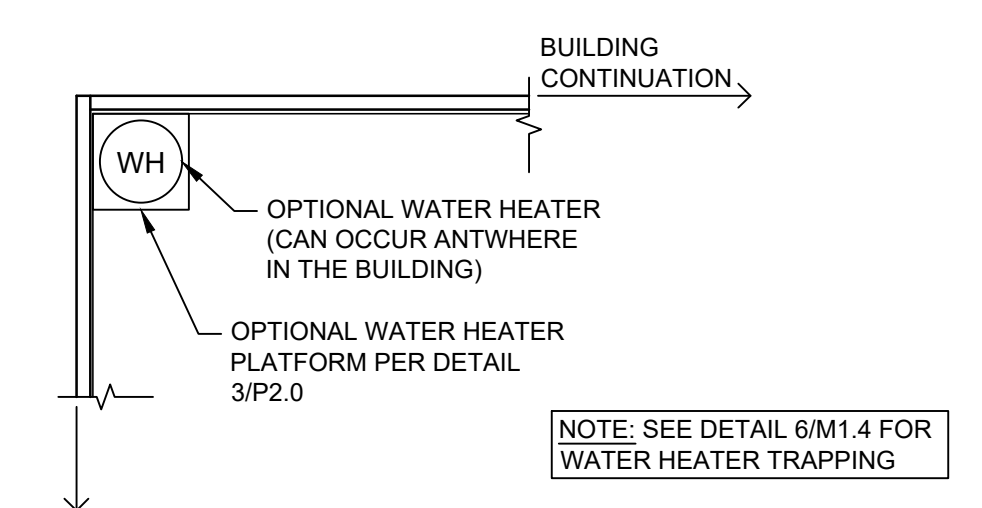
- NOT USED
- DOOR SIGNAGE PER 2, 7 OR 8/N4.0 (BY OWNER)
- RESTROOM I.D. SIGNAGE (BY OTHERS) PER DETAILS 1,3 OR 6, SHEET N4.0
- TYPICAL DOOR PER SCHEDULE ON SHEET N3.0.
- 60" CLEAR TURNING SPACE
- ELECTRICAL PANEL
- PLUMBING FIXTURE PER P1.0
- FLOOR DRAIN (LOCATION MAY VARY) - PER P1.0. 1:48 FLOOR SLOPE MAX
- TOILET PARTITIONS (ACCURATE, SOLID PLASTIC, OR EQUAL) PER P2.0
- TOILET TISSUE DISPENSER (BRADLEY MODEL 508-32, OR EQUAL) PER P2.0
- TOILET SEAT COVER DISPENSER (BOBRICK MODEL B-221, OR EQUAL) PER P2.0
- GRAB BARS - SEE 6/A7.1
- TYPICAL RAMP REFER TO DETAIL 6/-
- DOWNSPOUT - DISCHARGE TO SPLASH BLOCK (U.N.O.)
- SOAP DISPENSER - SEE 17/P2.0
- SHEET VINYL FLOORING w/6" SELF COVE BASE
- EXTERIOR LIGHT - SEE ELECTRICAL SHEETS
- OVERHANG
- CUSTODIAN SINK
- WATER HEATER
- HOSE BIBB
- CUSTODIAN FAUCET
- DRAFTSTOP PER 5/M1.5



PROTECTION OF WOOD WALLS @ TOILET RM

SCALE : 1/4"=1'-0"

4



NOTE: SEE DETAIL 6/M1.4 FOR WATER HEATER TRAPPING

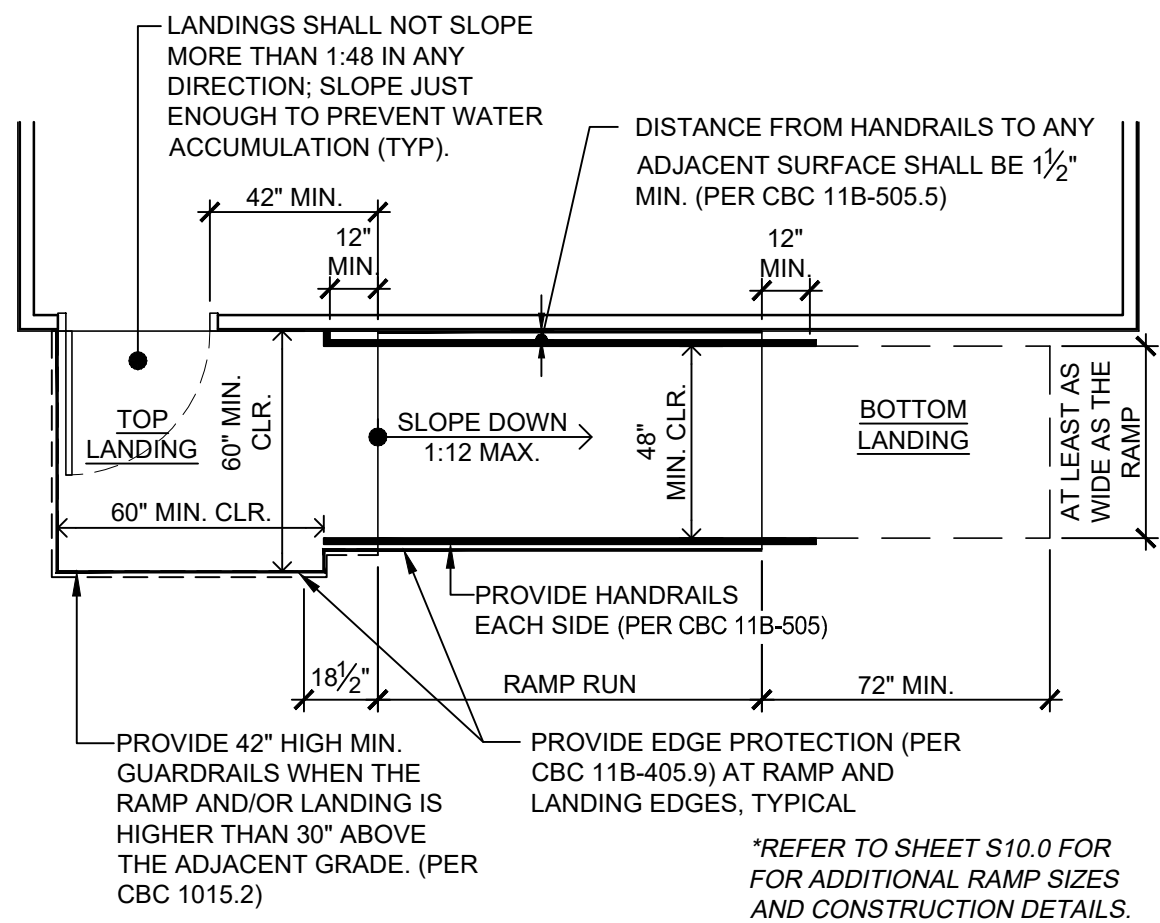
NOTE: SEE GENERAL NOTE #4 FOR INTERIOR WALLS

- 1 = KEY NOTE - SEE KEY NOTES, THIS SHEET
- X = DOOR TYPE - SEE SCHEDULE SHEET N3.0
- X = DOOR HARDWARE - SEE HARDWARE SCHEDULE SHEET N3.0
- X = WINDOW TYPE - SEE SCHEDULE SHEET N3.0

60" DIAMETER CLEAR FLOOR TURNING SPACE

30"x48" CLEAR FLOOR SPACE

SYMBOLS LEGEND



REFER TO SHEET S10.0 FOR ADDITIONAL RAMP SIZES AND CONSTRUCTION DETAILS.



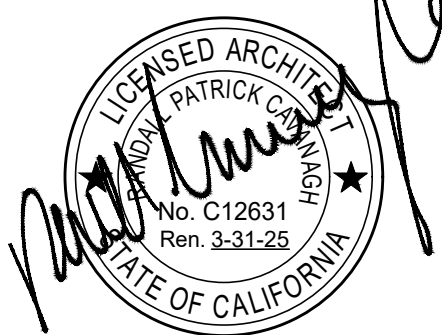
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PRE-CHECKED SET NAME
12' x 40' STANDARD MODULAR BUILDING



SITE SPECIFIC PROJECT NAME
**CAPISTRANO USD
ESENCIA ES
(1) 12' x 40' BUILDING**

MANUFACTURER PROFESSIONAL OF RECORD



THESE DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS STAMPED & SIGNED BY THE ENGINEER OF RECORD.

REVISIONS

REVISIONS	
ADDENDUM NO. 2	05/05/2024

DRAWN BY: AA
SCALE: AS NOTED
DATE: 05/01/24
PROJECT NO: 1827-23

SHEET TITLE:

RESTROOM FLOOR PLAN OPTIONS

SHEET NUMBER:

A1.2b-M

SHEET NOTES

KEYNOTES

3 WATER HEATER

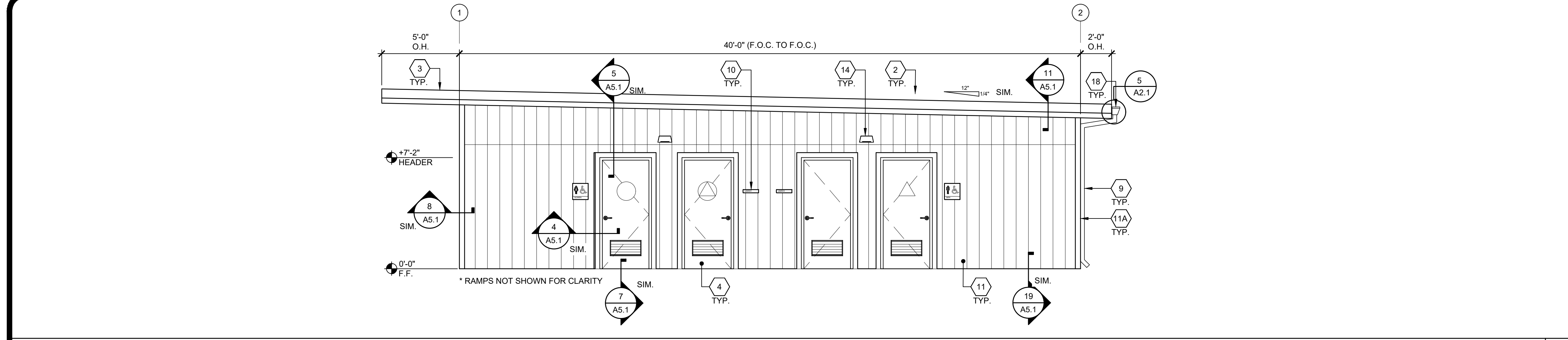
SCALE : 1/4"=1'-0"

5

TYPICAL RAMP PLAN

SCALE : 1/4"=1'-0"

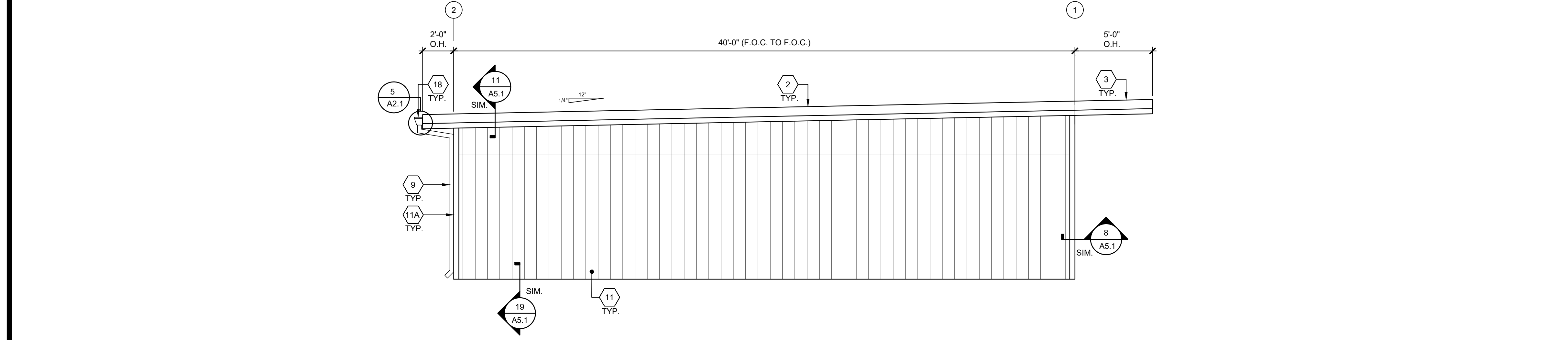
6



FRONT SIDEWALL EXTERIOR ELEVATION

SCALE : 1/4"=1'-0"

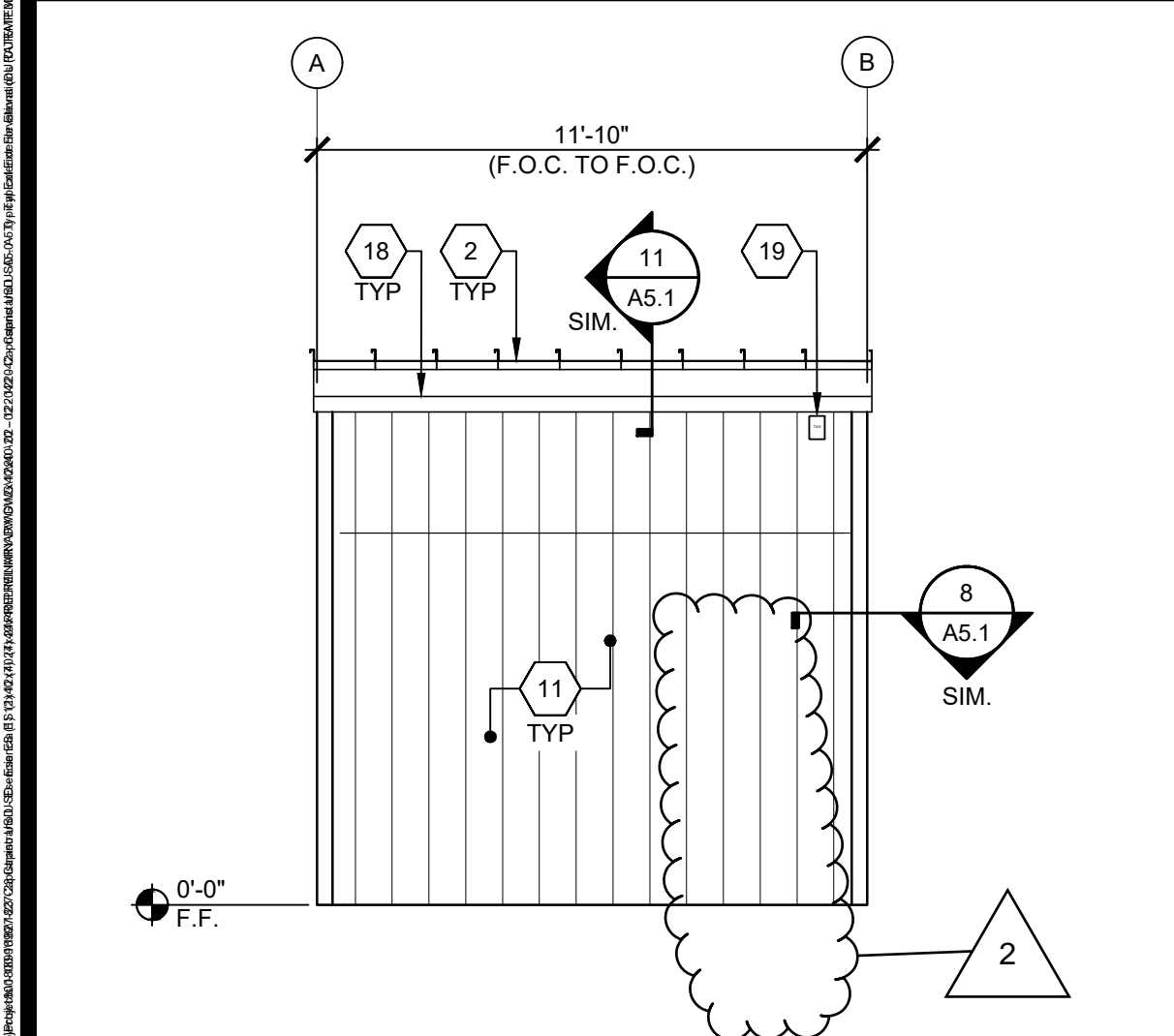
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FRONT SIDEWALL EXTERIOR ELEVATION

SCALE : 1/4"=1'-0"

2



ENDWALL EXTERIOR ELEVATION

SCALE : 1/4"=1'-0"

ENDWALL EXTERIOR ELEVATION

SCALE : 1/4"=1'-0"

NOT USED

NOT USED



NOT USED

NOT USED

NOT USED

NOT USED

- 1 NOT USED
- 2 STANDING SEAM METAL ROOFING
- 3 OVERHANG - (SEE STRUCTURAL)
- 4 TYP. EXTERIOR DOOR - (SEE SCHEDULE)
- 5 NOT USED
- 6 NOT USED
- 7 ELECTRICAL PANEL
- 8 NOT USED
- 9 DOWNSPOUT SEE DETAIL 8/A5.1 FOR ATTACHMENT
- 10 ROOM ID AND ISA SIGNAGE (BY OTHER) SEE DETAILS 1-9/N4.0 - TYP.
- 11 5/8" PLYWOOD SHEATHING 303 FINISH VERTICAL GROOVE CEMENT SIDING
- 11A 1x4 TRIM CEMENT SIDING TRIM
- 12 NOT USED
- 13 NOT USED
- 14 EXTERIOR LIGHT - (SEE ELECTRICAL)
- 15 NOT USED
- 16 NOT USED
- 17 HOSE BIB
- 18 GUTTER - SEE SHEET 5/A2.1
- 19 MODULAR IDENTIFICATION TAG +90° ABOVE A.F.F.

KEY NOTES

CHAPTER 7A REQUIREMENTS:

- 1 705A.4 ROOF GUTTERS SHALL BE COVERED PER 705A.4 (GUTTERS ARE COVERED WITH STEEL MESH SCREENS)
- 2 706A.1 VENTS SHALL BE COVERED WITH RESISTANT VENTS PER 706A.1 & 706A.2 PROVIDE BRANDGUARD VENTS, MODEL FV2011 (14" X 6") AND/OR FV2021 (18" X 8") CSFM LISTING 8165-2232-0502, AS APPLICABLE OR APPROVED EQUAL WITH SIMILAR CURRENT CSFM LISTING
- 3 706A.2.1 RIDGE VENTS SHALL BE COVERED WITH RESISTANT VENTS PER 706A.1 & 706A.2 (NOT APPLICABLE TO THIS PROJECT)
- 4 707A.3 EXTERIOR WALL COVERINGS (BRICK VENEER - SEE SHEET A5.1 / DETAIL 11)
- 5 707A.4 EXTERIOR WALL ASSEMBLIES (SEE SHEETS A5.1)
- 6 707A.5 OPEN ROOF EAVES (UNDERSIDE OF OVERHANGS AND BALCONIES ARE COVERED WITH STUCCO)
- 7 707A.9 UNDER FLOOR PROTECTION (CONCRETE FLOORS AND CONCRETE FOUNDATIONS PROVIDED)
- 8 708A.2.1 EXTERIOR WINDOWS (ALL WINDOWS HAVE TEMPERED AND LAMINATED GLAZING. SEE SHEET N3.0 WINDOW SCHEDULE)
- 9 708A.3 EXTERIOR DOORS (ALL EXTERIOR DOORS ARE 16 GA. STEEL SLAB AND 14 GA. STEEL FRAME. SEE SHEET N3.0R DOOR SCHEDULE)
- 10 705A.1 ROOF CONSTRUCTION (SEE SHEET S4.0. WITH CLASS "A" METAL STANDING SEAM ROOF COVERING)

NOTE:
PC BUILDINGS LOCATED IN FIRE HAZARD SEVERITY ZONES PER WILDLAND URBAN INTERFACE FIRE AREAS (WUI) SHALL CONFORM TO CBC CHAPTER 7A. PC IS NOT APPROVED FOR WUI.



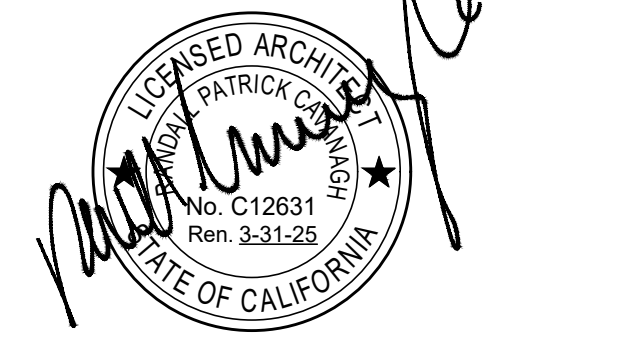
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PRE-CHECKED SET NAME
12' x 40' STANDARD MODULAR BUILDING



SITE SPECIFIC PROJECT NAME
CAPISTRANO USD
ESENCIA ES
(1) 12' x 40' BUILDING

MANUFACTURER PROFESSIONAL OF RECORD



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REVISIONS	
ADDENDUM NO. 2	05/05/2024

DRAWN BY:	AA
SCALE:	AS NOTED
DATE:	05/01/24
PROJECT NO:	1827-23

SHEET TITLE:
TYP. EXTERIOR ELEVATIONS
DURATEMP - 303 SIDING
OPTION

SHEET NUMBER:

A5.0b-M

CHAPTER 7A REQUIREMENTS

PATH: C:\USERS\AHM\AMS\ENGINEERING\TEAM - DOCUMENTS\PROJECTS\1827-23 CAPISTRANO USD - ESENCIA ES (1) 12x48 (7) 24x48 PRODUCTION\DWG\12x48\POC - CAPISTRANO.DWG, PLOT DATE: 5/1/2024 2:57:21 PM



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CAPISTRANO USD
ESENCIA ES
(1) 12' x 40' BUILDING

ADDENDUM #2

CUSTOMER:

WOOD FOUNDATION POC PLAN

SCALE: 3/8" = 1'-0"

1

- EP** ABOVE FLOOR ELECTRICAL POC:
SEE PLAN FOR AMPERAGE, 120/240 VOLT, SINGLE PHASE, NEMA 3 PANEL STUBBED OUT @ +46"
AFF, (CONNECTION BY OTHERS)
- W** BELOW FLOOR WATER POC:
SEE PLAN FOR SIZE, AMS TO STUB DOWN BELOW FF 6" BEYOND FOUNDATION (CONNECTION BY
OTHERS)
- SS** BELOW FLOOR WASTE POC:
SEE PLAN FOR SIZE, AMS TO STUB DOWN BELOW FF 6" BEYOND FOUNDATION (CONNECTION BY
OTHERS)
- LV** ABOVE FLOOR LOW VOLTAGE POC:
(2) SS BOXES w/WEATHERPROOF PLATES, EACH WITH (2) 1-1/4" CONDUITS STUBBED TO ATTIC
(CONNECTION BY OTHERS)

- DS** DOWNSPOUT P.O.C. - LOCATION OF 2" X 3" DOWNSPOUT
TURN AT BTM FOR DISCHARGE TO SPLASH BLOCK (SPLASH BLOCK BY OTHERS)
- ACV** 24"x36" ACCESS VENT
- VE** 12"x48" FOUNDATIONIN VENT

NOTE: *DIMENSIONS MAY VARY ± 6"

INDICATES TRENCH 1'-0" DEPTH (WIDTH PER PLAN)
ALL TRENCHING BY OTHERS

*ALL DETAILS ARE DIAGRAMMATIC AND ARE INTENDED TO CLARIFY SCOPE
AS WELL AS TO PROVIDE A GENERAL UNDERSTANDING OF EACH POC.

*THE INFORMATION ATTACHED IS PROVIDED FOR PURPOSES OF COORDINATION AND
TO SIMPLIFY THE POINT OF CONNECTION INFORMATION FOR ELECTRICAL AND
PLUMBING UNDERGROUND AS WELL AS FOUNDATION SLEEVES (AS REQUIRED) TO AN
AGREED UPON CONNECTION POINT. THE POINT OF CONNECTION INFORMATION
CONVEYED ON THIS SHEET SUPERSEDES ANY PREVIOUS DRAWINGS AND OR
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REFLECTED ON THIS SHEET ARE THE RESPONSIBILITY OF THE ARCHITECT OF RECORD
TO PROVIDE TO THE APPROPRIATE ON-SITE CONTRACTORS FOR COORDINATION AND
EXECUTION. SEE FOUNDATION STRUCTURAL DRAWINGS FOR SLEEVE DETAILS
THROUGH STEM WALL AND/OR FOOTINGS.

THIS SHEET IS NOT A FOUNDATION PLAN, CONTRACTOR TO REFER TO
APPROVED DRAWINGS FOR NECESSARY CONSTRUCTION INFORMATION

POC KEY NOTES

2 GENERAL NOTES

3

EPM:	CDA
DRAWN BY:	AA
SCALE:	AS NOTED
DATE:	04/16/24

PROJECT No.:

1827-23

DRAWING TITLE:

POINT OF
CONNECTION
PLAN

SHEET NUMBER:

POC-1